

ROUTT COUNTY BOARD OF ADJUSTMENT AGENDA

**July 13, 2020
6:00 PM**

Due to the COVID-19 pandemic, this hearing will be conducted through the Zoom application. You may access this meeting by clicking [here](#).

Live audio is available by calling (669) 900-6833.

Meeting ID: 858 7213 6030

Password: 599173

1. CALL TO ORDER

2. APPROVAL OF MINUTES

A. Minutes From The June 1, 2020 Board Of Adjustments Meeting

Documents:

[060120-boa-corrected.pdf](#)

B. Minutes From The June 8, 2020 Board Of Adjustments Meeting

Documents:

[060820-boa-corrected.pdf](#)

C. Minutes From The June 15, 2020 Board Of Adjustments Meeting

Documents:

[061520-boa-corrected.pdf](#)

3. ITEMS FOR CONSIDERATION

A. Warhover/Givens Variance

Activity #:	PL-20-118
Applicant:	Anne Warhover and Cales Givens
Petition:	Setback variances for existing home, existing garage, and proposed addition connecting the two.
Legal:	Lot 4 Soda Creek Highlands
Location:	Approximately 3 miles north of Steamboat Springs off of CR 36

Documents:

[Staff Report PL-20-118 WarnhoverGivens 7.13.20.pdf](#)

B. Nissen Variance

Activity #: PL-20-119
Applicant: Jeff Nissen / Windsong Acres, LLC
Petition: Request to construct a garage in the setback
Legal: TR IN TR 105 7-5-85 TOTAL 2A
Location: 33425 County Road 33

Documents:

[P-Staff Report Nissen Garage Variance PL-20-119.pdf](#)

4. ADMINISTRATOR'S REPORT

Administrator's Report may include the reading of future Board of Adjustments agendas.

5. ADJOURNMENT

Agenda packets can be accessed at www.co.routt.co.us/AgendaCenter.

All programs, services and activities of Routt County are operated in compliance with the Americans with Disabilities Act. If you need a special accommodation as a result of a disability, please call the Commissioners' Office at (970) 879-0108 to assure that we can meet your needs. Please notify us of your request as soon as possible prior to the scheduled event. Routt County uses the Relay Colorado service. Dial 711 or TDD (970) 870-5444.

**ROUTT COUNTY BOARD OF ADJUSTMENT
MINUTES**

JUNE 1, 2020

The Routt County Board of Adjustment meeting was called to order via Zoom at 6:00 p.m. with the following members participating: Chairman Brian Fitzgerald, Gerry Albers, Don Prowant and Jeff Gustafson. Interim Planning Director Kristy Winser and staff planner Tegan Anderson were also present. Sarah Katherman prepared the minutes.

PUBLIC COMMENT

There was no public comment.

APPROVAL OF MINUTES - November 4 , 2019

Mr. Prowant moved to approved the minutes of the November 4, 2019 Board of Adjustment hearing, as written. Mr. Albers seconded the motion. **The motion carried 4 - 0, with the Chair voting yes.**

ACTIVITY: PL-20-106

APPELLANT: Sierra and Matt Fallon

REQUEST: Variance Construct a new single family residence within the property setback

Required setbacks : 50 ft. from the property line /80 ft. from center line of road

Requested setbacks : 5 ft. from the property line for a variance of 45 ft. and 50 ft. from the center line of the road for a variance of 30 ft.

LOCATION: 25485 County Road 56

Chairman Fitzgerald noted that because the meeting is virtual, the applicant could choose to table at any time due to technical difficulties.

Ms. Sierra Fallon reviewed the petition. She stated that her family had owned the property since 1970. There are two dwelling units on the property. The existing structures were both built in 1929. A secondary dwelling permit was granted retroactively for the property about 20 years ago. The property is a triangle bordered by the Elk River, CR 56 and the Kurtz ranch, which is on the west side of the property. She said that the parcel has been surveyed. In response to a question from Chairman Fitzgerald. Ms. Fallon said that the three residences on the Kurtz property are about two acres from the property line. Ms. Fallon noted the tiny (9 sq. ft.) building envelope of land that does not encroach into any of the setbacks, and said that none of the existing structures are in that area. She explained that the proposal is to rebuild a two story home on the footprint of the existing house. Ms. Fallon presented renderings of the proposed new structure. She stated that no other changes are planned for the property.

Chairman Fitzgerald clarified that because only four BOA members are present, an approval would require a unanimous vote, and that the applicant could request a postponement until a full board could be present. Ms. Fallon chose to proceed.

Ms. Fallon said that they would like to use the existing foundation walls if possible, but if the walls are not sound, a foundation with a crawl space would be built on the same footprint. She stated that the parcel, which was created in 1970, is a legal non-conforming lot in the Agricultural/Forestry (A/F) zone district. The structures were all in existence prior to the creation of this parcel. Ms. Fallon stated that the Kurtzes are aware of the proposal and have no objections. She stated that there is no sight line from the Kurtz residences to the home site. Ms. Fallon stated that no changes would be made to the well or the septic system, other than to upgrade the interior plumbing. The electrical service to the site will be improved.

Ms. Fallon noted that the proposed structure includes a small bump-out which does extend beyond the foundation. She stated that this had been taken into account in calculating the variance request. In response to a question from Mr. Gustafson, Ms. Fallon clarified that the roof overhang is 3 ft. beyond the walls. Ms. Ebbert stated that overhangs of two feet are allowed without consideration, but because this overhang is three ft., an additional foot was included in the calculation of the variance request. Mr. Gustafson suggested that in order to ensure that there is sufficient room to construct the proposed building, a setback of 3 ft. or 4 ft. would be appropriate.

Ms. Winser stated that the variance request was advertised very broadly, which would allow the Board of Adjustment to modify the amount of variance granted. She noted that the variance will be specific to the site and the plans submitted.

Ms. Ebbert noted that the parcel contains only 0.28 acres, but because it is zoned A/F the required setbacks are 50 ft. from the property lines and 80 ft. from the center line of the road. The minimum lot size in the A/F zone district is 35 acres. Ms. Ebbert stated that the secondary dwelling, which is registered, encroaches into the neighboring property, but because it was constructed prior to zoning in Routt County, the Planning Department is not addressing this issue. The property owners are working to resolve the issue with their neighbors. Ms. Ebbert stated that staff recommends approval of the variance request

MOTION

Mr. Gustafson moved to approve a setback variance of 48 ft. from the west property line (for a setback of 3 ft.) and a setback variance of 30 ft. (for a setback of 50 ft.) from the center line of CR 56. This approval is based on the following findings of fact:

1. Peculiar and exceptional practical difficulties or an unnecessary and unreasonable hardship will be imposed on the property owner if the provisions of this Resolution are strictly enforced because **of the**

- unusually small area that meets setbacks on this parcel that make construction of any structure impractical.**
2. Circumstances creating the hardship were created subsequently through no fault of the appellant because the present nonconformity **was created prior to the adoption of the Routt County Zoning Regulations** .
 3. The property for which a variance is requested possesses an extraordinary and exceptional situation or condition which does not occur generally in other property in the same Zone District in that the site has a physical constraint limiting the building envelope. **The physical constraint is the small area of the parcel of 0.28 acres.**
 4. The variance, if granted, will not diminish the value, use or enjoyment of the adjacent properties, nor curtail desirable light, air and open space in the neighborhood, nor change the character of the neighborhood because the configuration and size of the structure is generally in conformity with the adjacent properties and neighborhood.
 5. The variance is not directly contrary to the intent and purpose of this Resolution or the Routt County Master Plan as there are no apparent conflicts with RCZR standards or RCMP policies.

This approval is subject to the following conditions:

1. The building shall comply with all applicable requirements of the Routt County Building Department.
2. If construction of the building does not commence within 1 year, this variance shall be subject to another review with full submittal. A 12 month extension may be approved administratively without notice.
3. This approval is specific to the plans submitted in the application. Any change in footprint, size, height or site location that increases the level on non-conformance will be subject to a new application. Minor variations that do not increase the level of non-conformance can be approved administratively, without notice.
4. Best Management Practices (BMP's) shall be utilized during construction to prevent erosion and drainage flow onto adjacent properties, drainage to the east of the parcel and the county road right of way.
5. A Grading and Excavation Permit will be required if necessary.
6. All exterior lighting will be downcast and opaquely shielded.
7. Revegetation of disturbed areas shall occur within one growing season with a seed mix which avoids the use of aggressive grasses. See the Colorado State University Extension Office for appropriate grass seed mixes.

Commissioner Albers seconded the motion.

The motion carried 4 - 0, with the Chair voting yes.

ADMINISTRATOR 'S REPORT

Ms. Winser reported that following the BOA virtual meeting training session, the Board of County Commissioners had reviewed and approved the remote meeting policy. She highlighted Section 8.e of the policy regarding the tabling of meetings for technical issues. She also discussed the protocol for continuing a meeting if a BOA member is temporarily unable to hear the proceedings.

Ms. Winser reviewed the upcoming schedule of hearings. The BOA expressed its support for hearing more than one item per meeting to reduce the frequency of meetings.

The meeting was adjourned at 6:45 p.m.

**ROUTT COUNTY BOARD OF ADJUSTMENT
MINUTES**

JUNE 8, 2020

The Routt County Board of Adjustment meeting was called to order via Zoom at 6:00 p.m. with the following members participating: Chairman Brian Fitzgerald, Gerry Albers, Don Prowant and Jeff Gustafson. Interim Planning Director Kristy Winser and staff planner Tegan Anderson were also present. Sarah Katherman prepared the minutes.

PUBLIC COMMENT

There was no public comment.

ACTIVITY: PL-19-190

APPELLANT: Zirkel Wireless

REQUEST: Variance Construct telecommunications facility within the property setback

Required setbacks : 50 ft. from the property line

Requested setbacks : 25 ft. from the east property line for a variance of 25 ft.

LOCATION: West slope of Hahn 's Peak via USFS access road 490

Chairman Fitzgerald noted that because the meeting is virtual, the applicant could choose to table the hearing at any time due to technical difficulties.

Mr. Alan Belvo, co-founder and president of Zirkel Wireless reviewed the petition, noting that the community in North Routt has been requesting access to broadband service for some time. Ms. Ebbert presented a topographical site plan of the area. Mr. Belvo stated that the proposed structure is 26 ft. x 13 ft. to be located on the only flat area within the parcel. The remainder of the parcel has grades of 50% to 70%. Mr. Jim Stegmeier of Yampa Valley Engineering, representing the applicant, stated that the request is for a variance of 25 ft. Ms. Ellen Slobodnik, also of Yampa Valley Engineering, noted that the antennae and a portion of the cabin that will house the equipment does not encroach into the setback.

Ms. Ebbert stated that this non-conforming lot is a very difficult site due to the slopes. The proposed site is the only buildable area on the property. She presented photos of the site and noted that the US Forest Service (USFS) had stated that the proposed location for the structure is the only safe spot on the parcel. Mr. Belvo confirmed that Zirkel Wireless had consulted with the USFS, and will meet with USFS representatives soon to finalize the details of the access permit. Ms. Ebbert said that staff is recommending approval of the variance request.

Mr. Stegmeier stated that no fencing is being proposed because all the equipment will be housed within the cabin structure. The facility is to be located entirely on private property.

Ms. Winser stated that Planning Commission had reviewed the proposal last Thursday and had unanimously approved the Conditional Use Permit for the telecommunications facility contingent upon the variance being granted. She added that referrals had been sent to the USFS, Colorado Parks and Wildlife, Steamboat Lake State Park and the Building Department. She reported that the applicant had worked with the Building Department to ensure that the proposed structure meets snow, wind and avalanche standards.

In response to a question from Mr. Prowant, Ms. Ebbert explained that the parcel is owned by multiple parties, each with a percentage ownership. The County no longer allows this type of ownership. She stated that all interested parties had signed off on the proposal.

MOTION

Commissioner Albers moved to approve the variance from the required setback of 25 ft., for a setback of 25 ft. from the west property line, to allow for the construction of a telecommunications facility. This approval is based on the following findings of fact:

1. Peculiar and exceptional practical difficulties or an unnecessary and unreasonable hardship will be imposed on the property owner if the provisions of this Resolution are strictly enforced because **of the severe topographical constraints of this parcel.**
2. Circumstances creating the hardship were created subsequently through no fault of the appellant because the present nonconformity was created in the early to mid-1970s.
3. The property for which a variance is requested possesses an extraordinary and exceptional situation or condition which does not occur generally in other property in the same Zone District in that the site has a physical constraint limiting the building envelope. This physical constraint is **severe slope of the parcel and the limited accessibility.**
4. The variance, if granted, will not diminish the value, use or enjoyment of the adjacent properties, nor curtail desirable light, air and open space in the neighborhood, nor change the character of the neighborhood because the configuration and size of the structure is generally in conformity with the adjacent properties and neighborhood.
5. The variance is not directly contrary to the intent and purpose of this Resolution or the Routt County Master Plan as there are no apparent conflicts with RCZR standards or RCMP policies.

This approval is subject to the following conditions:

1. The building shall comply with all applicable requirements of the Routt County Building Department.
2. If construction of the building does not commence within 1 year, this variance shall be subject to another review with full submittal. A 12 month extension may be approved administratively without notice.
3. This approval is specific to the plans submitted in the application. Any change in footprint, size, height or site location that increases the level on non-conformance will be subject to a new application. Minor variations that do not increase the level of non-conformance can be approved administratively, without notice.
4. A foundation only building permit will initially be signed off on by Planning. Prior to Planning signing off on the full building permit, a certified survey of the location of the foundation forms must be submitted.
5. Best Management Practices (BMP's) shall be utilized during construction to prevent erosion and drainage flow onto adjacent properties, drainage to the east of the parcel and the county road right of way.
6. A Grading and Excavation Permit will be required if necessary.
7. All exterior lighting will be downcast and opaquely shielded.
8. Revegetation of disturbed areas shall occur within one growing season with a seed mix which avoids the use of aggressive grasses. See the Colorado State University Extension Office for appropriate grass seed mixes.

Commissioner Prowant seconded the motion.

The motion carried 4 - 0, with the Chair voting yes.

ADMINISTRATOR 'S REPORT

Ms. Winser reviewed the upcoming schedule of hearings.

The meeting was adjourned at 6:35 p.m.

**ROUTT COUNTY BOARD OF ADJUSTMENT
MINUTES**

JUNE 15, 2020

The Routt County Board of Adjustment meeting was called to order via Zoom at 6:00 p.m. with the following members participating: Chairman Brian Fitzgerald, Gerry Albers, Don Prowant and Jeff Gustafson. Interim Planning Director Kristy Winser and staff planner Tegan Anderson were also present. Sarah Katherman prepared the minutes.

PUBLIC COMMENT

There was no public comment.

ACTIVITY: PL-20-116

APPELLANT: Gregory and Christine Rudolph

REQUEST: Variance to construct and addition to a single family residence within the property setback

Required setbacks : 50 ft. from the property line

Requested setbacks : 42 ft. from the east property line for a variance of 8 ft.

LOCATION: Lot 3 Elk River Estates, Filing 3; located at Elk View Drive

Chairman Fitzgerald noted that because the meeting is virtual, the applicant could choose to table at any time due to technical difficulties. He said that with only four members present a unanimous vote is needed to approve the request. The applicant may request a tabling until a full board is present.

Mr. Steve Ivancie of Jake's Drafting, representing the petitioner, reviewed the variance request. He presented an aerial view of the site and indicated the location of the enclosed entry that will increase the non-conformity. On a site plan, he indicated the proposed addition and the parts of the house that currently encroach into the setback.

Ms. Ebbert confirmed that the existing house, which was constructed in 1972 (the same year that zoning went into effect in Routt County), received a building permit and was granted a variance in 2000 for the location of the existing house in its current location. In response to a question from Chairman Fitzgerald, Ms. Ebbert stated that because the existing structure has been approved twice: once through the building permit and again through a variance, there would be no need to again approve the existing encroachment into the setback. Ms. Winser stated that the motion could acknowledge the previous variance.

Ms. Ebbert explained that the proposed new entryway would essentially enclose the existing porch. She presented a photo of the house. The area that would increase the footprint of the portion of the house that is in the setback is 58 sq. ft. She stated that the current owners cannot change the location of the home. Mr.

Ivancie noted that the enclosed porch would be contained within the existing roof overhang. Although the entryway technically enlarges the footprint of the house, it will not increase the area under the roofline.

Mr. Gustafson asked about the retaining walls. Mr. Ivancie reviewed the variance that was granted in 2000, which included the retaining walls to allow egress from the basement. In conjunction with that variance, a variance was granted to bring the existing house into conformance in its current location. He reviewed the site plan and indicated that the existing structure encroaches into the setback well beyond where this new enclosure is located. There was a discussion of extending the variance beyond what is being requested. Ms. Ebbert stated that any variance approval is specific to the plans submitted.

MOTION

Commissioner Albers moved to approve the requested 8 ft. variance from the required setbacks, for a setback of 42 ft. from the east property line. He recognized that the existing house has a 12' setback previously approved. This approval is based on the following findings of fact:

1. Peculiar and exceptional practical difficulties or an unnecessary and unreasonable hardship will be imposed on the property owner if the provisions of this Resolution are strictly enforced because **the property owners are limited by the existing location of the residence.**
2. Circumstances creating the hardship were created subsequently through no fault of the appellant because the present nonconformity was created in the early to mid-1970s.
3. The property for which a variance is requested possesses an extraordinary and exceptional situation or condition which does not occur generally in other property in the same Zone District in that the site has a physical constraint limiting the building envelope. This physical constraint is the approved, existing location of the residence.
4. The variance, if granted, will not diminish the value, use or enjoyment of the adjacent properties, nor curtail desirable light, air and open space in the neighborhood, nor change the character of the neighborhood because the configuration and size of the structure is generally in conformity with the adjacent properties and neighborhood.
5. The variance is not directly contrary to the intent and purpose of this Resolution or the Routt County Master Plan as there are no apparent conflicts with RCZR standards or RCMP policies.

This approval is subject to the following conditions:

1. The building shall comply with all applicable requirements of the Routt County Building Department.

2. If construction of the building does not commence within 1 year, this variance shall be subject to another review with full submittal. A 12 month extension may be approved administratively without notice.
3. This approval is specific to the plans submitted in the application. Any change in footprint, size, height or site location that increases the level on non-conformance will be subject to a new application. Minor variations that do not increase the level of non-conformance can be approved administratively, without notice.
4. Best Management Practices (BMP's) shall be utilized during construction to prevent erosion and drainage flow onto adjacent properties, drainage to the east of the parcel and the county road right of way.
5. A Grading and Excavation Permit will be required if necessary.
6. All exterior lighting will be downcast and opaquely shielded.
7. Revegetation of disturbed areas shall occur within one growing season with a seed mix which avoids the use of aggressive grasses. See the Colorado State University Extension Office for appropriate grass seed mixes.

Mr. Gustafson seconded the motion.

The motion carried 4 - 0, with the Chair voting yes.

ADMINISTRATOR 'S REPORT

Ms. Winser reviewed the upcoming agendas for July 13th and August 10th. She reported that an advertisement would be put out soon to fill open positions on both Board of Adjustment and Planning Commission.

The meeting was adjourned at 6:45 p.m.

Warnhover/Givens

Variance

ACTIVITY #: PL-20-118
BOARD OF ADJUSTMENT HEARING DATE: July 13, 2020 at 6:00 pm

PETITIONER: Anne Warnhover and Cales Givens
PETITION: Property line setback variances for existing home, existing garage, and proposed addition connecting the two.
LEGAL: Lot 4, Soda Creek Highlands
LOCATION: 32115 Highlands Rd.
ZONE DISTRICT: Mountain Residential Estate (MRE)
AREA OF PARCEL: 1.42 acres
STAFF CONTACT: Alan Goldich, agoldich@co.routt.co.us
ATTACHMENTS:

- Narrative
- Site Plan
- Slope analysis
- Building plans

History:

The Soda Creek Highlands subdivision was created in 1971. When the County adopted zoning, the Mountain Residential Estate (MRE) zone district was assigned to it, even though the minimum lot size in the MRE zone district was 5 acres. A blanket non-conforming lot variance was granted for the entire subdivision on June 12, 1972, due to the lots being less than 5 acres. A very short time later, the subject residence and detached garage were built.

Site Description:

The subject parcel is 1.42 acres, which is significantly smaller than the five acres required in the MRE zone district. The lot is located in the inside bend of a switchback in the road and is triangle shaped. The grade of the road exceeds the current standards for roadways. This is due to the fact that road was constructed prior to the adoption of roadway standards. The Woodchuck irrigation ditch runs through the western portion of the property. The site is covered with mature vegetation, including trees and shrubs. A slope analysis was performed and submitted as part of the application. This analysis shows that slopes on a majority of the site exceed 30%.

Project Description:

The applicant is requesting a variance to bring the two existing structures, the residence and detached garage, into conformance. They are also requesting a variance for an addition they wish to construct that will connect the residence and the garage. The footprint of the addition is the same distance from the property line as the existing house. There is a covered patio proposed that will extend 12' further into the setback than any of the existing structures. This covering is an extension of the roof of the proposed addition.

Staff Comments:

- As noted in the project description, the applicant is requesting variances for three separate structures; one for the existing residence, one for the existing garage, and one for the proposed addition. The responses provided by the applicant mainly focus on the two existing structures.
- When evaluating whether a structure complies with setbacks, it is staff's policy to allow a typical 2'-3' overhang to extend into the setback. The patio covering is part of the roof and is larger than a typical overhang. Because of this, a variance is required for the roof extension over the patio. It is staff's opinion that the variance for the covered patio is a self-imposed hardship based on the design of the addition. If a covered patio is desired, there is room on the other side of the residence to construct this. It is staff's opinion that this request is based on personal convenience, as detailed in section 3.4.6.B below, and should not be approved.
- Staff is supportive of the request to bring the existing structures into conformance. Staff also recommends approval of the request for the proposed connection between the garage and the residence that would not encroach into the setback any farther than the existing structures.

*****Issues for Discussion*****

1. What is your opinion on the variance request for the roof extension over the patio.

Setbacks for MRE District

Setbacks in the MRE zone district are 50' from all property lines.

Side Setback	Existing Setback From Property Line	Proposed Setback From Property Line	Variance
Existing Main House	27.6'		22.4'
Existing Garage	49.5'		.5'
Proposed Connector		27.6'	22.4'
Proposed Outdoor Covered		15.75'	34.2'
Front Setback			
Existing Garage	23.0'		27.0'
Proposed Connector		45.0'	5.0'

Section 3.4.6 – Standards for Grant of Denial of Variances

- B. Under no circumstances shall a variance be granted on the sole basis of personal convenience, profit or special privilege to the applicant.
- C. Under no circumstance shall the BOA grant a variance to allow a use not permissible under the terms of this Resolution in the appropriate Zone District.
- D. Variances shall be granted with respect to specific plans or within defined parameters. Unless otherwise specified by the BOA, a variance may be transferred to successive owners prior to construction if no changes are made to the approved plan. Variances shall run with the land after the construction of any authorized structures and only for the life of such structures.
- E. The BOA may condition the granting of a variance on the issuance of a building permit within a specific time period and may require the applicant to pursue completion of the construction with due diligence. If such conditions are not satisfied, the variance shall become null and void.
- F. In order to insure that the protection of the public good and the intent and purpose of these Regulations are preserved, the BOA may impose any other condition upon the granting of a variance, including those categories of conditions which may be placed upon Land Use Approvals under Section 3.2.6.

Applicable Regulations – Routt County Zoning Resolution

3.4.6 The Board may grant such variance if all of the following are found to exist:

- 3.4.6.A.1 Peculiar and exceptional practical difficulties or an unnecessary and unreasonable hardship will be imposed on the property owner if the provisions of this Resolution are strictly enforced.

Petitioner Comments: The existing home and garage were constructed as detached buildings and have existed in such a manner since 1972. The buildings were constructed around the inception of the Routt County Building and Planning department, and each structure was granted a non-conforming variance in 1972. It is unclear as to whether these structures were built just before or just after these governing bodies were created. Lot 4, Soda Creek Highlands is located with the Highlands Road on both the east and west side of the lot at a roadway grade of 7%. The structures are located in the southeast corner of the parcel closer than 50' to the property line on the high side of the lot. Due to the existing location of the buildings; there is no way to connect the buildings and make the site more functional without a variance. Based on the existing slopes and the location of the main house; relocation of the garage to within the building setbacks requires extensive engineering design including the construction of retaining walls in the setbacks and a full remodel of the home. The owners considered moving the garage to the south, however the lot is split north-south by the Woodchuck Ditch making the west side of the lot unusable with the location of the existing home. The Woodchuck Ditch bypassing the lot creates a peculiar and exception difficulty from other lots in the zone district. Denial of the connection does not appear to meet the intent of the zone district. Residents in the Soda Creek Highlands are Routt County citizens living year round in their homes close to town. Permitting a small addition to enclose an existing garage and homes provides residential development in a manner which creates livable space in a rural setting.

Staff Comments: The difficulty in moving or removing the existing structures (garage and house) would create an unreasonable hardship because there was, and is, no other

location on the property to construct these structures due to the steep slopes and existing mature vegetation.

3.4.6.A.2 Circumstances creating the hardship were in existence on the effective date of the regulations from which a variance is requested, or created subsequently through no fault of the appellant.

Petitioner Comments: The buildings were built in the current configuration in the early 1970's and the 2020 the owners are trying to improve the circulation and uses of the structures.

Staff Comments: The existing structures were constructed in the early 1970's, well before the current owners took possession of the property.

3.4.6.A.3 That the property for which a variance is requested possesses exceptional narrowness, shallowness, shape or topography or other extraordinary and exceptional situation or condition which does not occur generally in other property in the same Zone District.

Petitioner Comments: Lot 4, Soda Creek Highlands is a steep and narrow lot. It is not possible to relocate the garage to another location on the lot due to grade from the existing roadway and still meet the MRE setbacks. The MRE setbacks on Lot 4, Soda Creek Highlands which is a 1.42 acre parcel, leave a building area of 15,743 sq. feet or 25% of the entire lot. Based on the existing slope of the ground their square footage is further reduced. A slope analysis of the lot is being submitted that depicts slopes from 0 to 20%, 20% to 30% and 30% and higher. This diagram shows that there is not sufficient space to relocate the garage where the slope is less than 30% grade.

Staff Comments: As indicated on the slope analysis, a majority of the grades on the site are 30% or greater. 30% is the threshold detailed in the Subdivision Regulations as being too steep for development. In addition to this, the minimum lot size in the MRE zone district is 5 acres. This lot is 1.42 acres, well below the minimum size. This results in a very small building envelope. Most of this available building envelope contains slopes 30% or greater.

3.4.6.A.4 That the variance, if granted, will not diminish the value, use or enjoyment of the adjacent properties, nor curtail desirable light, air and open space in the neighborhood, nor change the character of the neighborhood.

Petitioner Comments: Granting the variance will not impact any of the above criteria. Neighbors will not see the addition as the proposal encloses existing stairs and walkways and creates some additional living space on the south portion of the lot far from the roadway and neighbors. The proposed connector space will be 27.6 feet from the south property line, which is the same amount that the existing main house projects into the setback. While the proposed outdoor covered space roof does project more into the setback than the existing structures (15.75' from the south boundary), we believe that it would have no impact to the south neighbor. The south property, as noted above, is a septic and electrical easement area that is over 125' long and is for the benefit of Lot 4. The easement area acts as a de-facto property line since no structures may be constructed in this parcel. The nearest residence is over 500 feet away from the planned residential improvements. Neighbors will not see or be impacted by the addition to the existing home.

Staff Comments: The variance will not diminish adjacent properties. The lot is triangle shaped, with the road on two of these sides. There are no visible homes on the other side of this street. There is also a septic easement on the south property line of the subject lot that prevents and structures from being placed there. The variance will not change the character of the neighborhood either since both of these structures have existed in their current locations for close to 50 years.

3.4.6.A.5 The variance, if granted, will not be directly contrary to the intent and purpose of this Resolution or the Routt County Master Plan.

Petitioner Comments: The variance will not be contrary to the intent and purpose of the Routt County Master Plan. MRE Zoning is noted to provide areas for affordable, mid-density residential development designed in a manner to create livable space in a rural setting, yet conveniently located to reduce unnecessary commuting. Approval of the variance for encroachment to the zoning setbacks will not negatively impact the Routt County Master Plan.

Staff Comments: No conflicts with the Master Plan have been identified.

Board of Adjustment Options:

Approve the variance if the above noted tests are met.

Approve conditionally if the above noted tests are met or can be met by the application of certain conditions, or if certain conditions are necessary to mitigate concerns.

Table for specific reasons; e.g. more information, site review, etc.

Deny the variance if it does not meet the criteria stated above or if the variance would create a health or safety hazard or would negatively impact public welfare.

STAFF RECOMMENDATION

Existing Structures

Staff recommends **approving** the variance for the existing residence and existing garage, based on the following findings of fact.

FINDINGS OF FACT that may be appropriate if the **Variance** is **APPROVED**:

1. An unnecessary and unreasonable hardship will be imposed on the property owner if the provisions of this Resolution are strictly enforced because there was, and is, no other location on the property to construct these structures because of the steep slopes and existing mature vegetation.
2. Circumstances creating the hardship were created subsequently through no fault of the appellant because the present nonconformity was created in the early 1970s.
3. The property for which a variance is requested possesses an extraordinary and exceptional situation or condition which does not occur generally in other property in the same Zone District in that the site has a physical constraint limiting the building envelope. This physical constraint is the small acreage size and the steepness of the parcel.
4. The variance, if granted, will not diminish the value, use or enjoyment of the adjacent properties, nor curtail desirable light, air and open space in the neighborhood, nor change the character of the neighborhood because a road borders two of the three lot lines and the third contains a septic easement which prevents the neighboring landowner from building anything in this area.

5. The variance is not directly contrary to the intent and purpose of this Resolution or the Routt County Master Plan as there are no apparent conflicts with RCZR standards or RCMP policies.

Addition

Staff recommends **approving** the variance for the addition without the roof extension with conditions of approval, based on the following findings of fact.

FINDINGS OF FACT that may be appropriate if the **Variance** is **APPROVED**:

1. An unnecessary and unreasonable hardship will be imposed on the property owner if the provisions of this Resolution are strictly enforced because of the location of the existing residence and garage.
2. Circumstances creating the hardship for the addition were created subsequently through no fault of the appellant because the present nonconformity was created in the early 1970s. However, the roof extension can easily be built in a conforming location and is not part of this approval.
3. The property for which a variance is requested possesses an extraordinary and exceptional situation or condition which does not occur generally in other property in the same Zone District in that the site has a physical constraint limiting the building envelope. This physical constraint is the small acreage size and the steepness of the parcel.
4. The variance, if granted, will not diminish the value, use or enjoyment of the adjacent properties, nor curtail desirable light, air and open space in the neighborhood, nor change the character of the neighborhood because a road borders two of the three lot lines and the third contains a septic easement which prevents the neighboring landowner from building anything in this area.
5. The variance is not directly contrary to the intent and purpose of this Resolution or the Routt County Master Plan as there are no apparent conflicts with RCZR standards or RCMP policies.

CONDITIONS that may be appropriate include the following:

1. The building shall comply with all applicable requirements of the Routt County Building Department.
2. If construction of the building does not commence within 2 years, this variance shall be subject to another review with full submittal. A 12 month extension may be approved administratively without notice.
3. This approval is specific to the plans submitted in the application. Any change in footprint, size, height or site location that increases the level of non-conformance will be subject to a new application. Minor variations that do not increase the level of non-conformance can be approved administratively, without notice.
4. A foundation only building permit will initially be signed off on by Planning. Prior to Planning signing off on the full building permit, a certified survey of the location of the foundation forms must be submitted.
5. Best Management Practices (BMP's) shall be utilized during construction to prevent erosion and drainage flow onto adjacent properties, drainage to the east of the parcel and the county road right of way.

6. A Grading and Excavation Permit will be required if necessary.
7. All exterior lighting will be downcast and opaquely shielded.
8. Revegetation of disturbed areas shall occur within one growing season with a seed mix which avoids the use of aggressive grasses. See the Colorado State University Extension Office for appropriate grass seed mixes.



May 28, 2020

Jeff Gerber
Gerber Berend Design Build
2546 Copper Ridge Drive Unit D
Steamboat Springs, CO 80487

Re: Lot 4 Soda Creek Highlands written narrative of variance, describing specific relief being requested and reason for request.

Dear Committee Members:

Lot 4 in Soda Creek Highlands is a 1.42 acre lot purchased by Annie Warhover & Cales Givens in 2017. The lot contains two existing non-conforming structures: a single story house and an unattached garage that were built around the time Routt County established building and planning departments in 1972. It is unclear as to whether these structures were built just before or just after these governing bodies were created. According to Alan Goldich at Routt County Planning, we discovered that building permits could not be found for either of these existing structures, however a non-conforming lot variance was issued on June 12, 1972.

The new Owners desire to add an 800 square foot connector between the House and Garage, that would be a safer and relatively maintenance-free alternative to their existing uncovered steps and walkway. It would also allow them to add some very functional space to their existing home. Their intended addition would be located within, but no closer, to the lot lines as the existing non-conforming. The proposed outdoor covered space roof does extend further into the setback than the existing non-conforming, however, the south line of the property is the north line of a non-buildable area for septic leach field and electrical services noted as Parcel B on the purchase deed, creating an additional buffer between Lot 4 and its neighbor to the south.

We are requesting a setback variance for:

- 1) Existing single-story house
- 2) Existing unattached garage
- 3) Proposed connector

Our belief is that the combination of the 50 foot front and side setbacks, the small size of the lot, and the existing non-conforming structures create a hardship for the clients to add on to their home. We request the following setback relief:



Side Setback	Allowed	Existing From Property Line	Proposed From Property Line
Existing Main House	50 ft	27.6'	
Existing Garage	50 ft	0.5'	
Proposed Connector	50 ft		27.6'
Proposed Outdoor Covered Space Roof	50 ft		15.75'
Front Setback			
Existing Garage		23.0'	
Proposed Connector			45.0'

Please let us know if we can provide any additional information.

Kind regards,

Jeff Gerber



Ph: 970-871-6772 · Fax: 970-879-8023 · P.O. Box 775966 · Steamboat Springs, Colorado 80477

June 26th, 2020

Routt County Planning
136 6th Street, 2nd Floor
Steamboat Springs, CO 80477

RE: Warhover Residence
Lot 4, Soda Creek Highlands
32115 Highlands Road, Steamboat Springs, CO
Variance Application

Dear Routt County Planning;

Four Points Surveying & Engineering is pleased to submit the attached variance application on behalf of Harold Givens and Anne Warhover, the owners Lot 4, Soda Creek Highlands, also known as 32115 Highlands Road, Steamboat Springs, Colorado.

Warhover and Givens purchased the existing home located on Lot 4, Soda Creek Highlands in 2017 with the existing house and garage in the current location. The current locations of the buildings encroach the setbacks of MRE Zoning district however the two structures were issued a non-conforming lot variance June 12, 1972 prior to construction of buildings. The purchase of the property includes a Parcel B which is an easement area for a septic leach field and electric service lines on the north portion of the unplatted parcel to the south of Lot 4 and is part of Routt County Parcel No. 933283003.

To approve the variance the Board of Adjustment (BOA) must find the requested variance meets the criteria of the Routt County Zoning Regulations Section 3.4.6. Standards for the Grant or Denial of Variances as outlined below.

The BOA may grant a variance if all of the following are found to exist as the applicant we note all of the five standards exist for approval of the variance as outlined below.

1) Peculiar and exceptional practical difficulties or an unnecessary and unreasonable hardship will be imposed on the property owner if the provisions of this Resolution are strictly enforced. The new property Owners desire to add an 800 square foot connector between the existing home and garage to improve the safety and function of their home. **The existing home and garage were constructed as detached buildings and have existed in such a manner since 1972. The buildings were constructed around the inception of the Routt County Building and Planning department, and each structure was granted a non-conforming variance in 1972. It is unclear as to whether these structures were built just before or just after these governing bodies were created. Lot 4, Soda Creek Highlands is located with the Highlands Road on both the east and west side of the lot at a roadway grade of 7%. The structures are located in the southeast corner of the parcel closer than 50' to the property line on the high side of the lot. Due to the existing location of the buildings; there is no way to connect the buildings and make the site more functional without a variance. Based on the existing slopes and the location of the main house; relocation of the garage to within the building setbacks requires extensive engineering design including the construction of retaining walls in the setbacks and a full remodel of the home. The owners considered moving the garage to the south, however the lot is split north-south by the Woodchuck Ditch making the west side of the lot**

unusable with the location of the existing home. The Woodchuck Ditch bypassing the lot creates a peculiar and exception difficulty from other lots in the zone district. Denial of the connection does not appear to meet the intent of the zone district. Residents in the Soda Creek Highlands are Routt County citizens living year round in their homes close to town. Permitting a small addition to enclose an existing garage and homes provides residential development in a manner which creates livable space in a rural setting.

2) Circumstances creating the hardship were in existence on the effective date of the regulations from which a variance is requested or created subsequently through no fault of the appellant. The buildings were built in the current configuration in the early 1970's and the 2020 the owners are trying to improve the circulation and uses of the structures.

3) That the property for which a variance is requested possesses exceptional narrowness, shallowness, shape or topography or other extraordinary and exceptional situation or condition which does not occur generally in other property in the same Zone District. Lot 4, Soda Creek Highlands is a steep and narrow lot. It is not possible to relocate the garage to another location on the lot due to grade from the existing roadway and still meet the MRE setbacks. The MRE setbacks on Lot 4, Soda Creek Highlands which is a 1.42 acre parcel, leave a building area of 15,743 sq. feet or 25% of the entire lot. Based on the existing slope of the ground their square footage is further reduced. A slope analysis of the lot is being submitted that depicts slopes from 0 to 20%, 20% to 30% and 30% and higher. This diagram shows that there is not sufficient space to relocate the garage where the slope is less than 30% grade.

4) That the variance, if granted, will not diminish the value, use or enjoyment of the adjacent properties, nor curtail desirable light, air and open space in the neighborhood, nor change the character of the neighborhood. Granting the variance will not impact any of the above criteria. Neighbors will not see the addition as the proposal encloses existing stairs and walkways and creates some additional living space on the south portion of the lot far from the roadway and neighbors. The proposed connector space will be 27.6 feet from the south property line, which is the same amount that the existing main house projects into the setback. While the proposed outdoor covered space roof does project more into the setback than the existing structures (15.75' from the south boundary), we believe that it would have no impact to the south neighbor. The south property, as noted above, is a septic and electrical easement area that is over 125' long and is for the benefit of Lot 4. The easement area acts as a de-facto property line since no structures may be constructed in this parcel. The nearest residence is over 500 feet away from the planned residential improvements. Neighbors will not see or be impacted by the addition to the existing home.

5) The variance, if granted, will not be directly contrary to the intent and purpose of this Resolution or the Routt County Master Plan. The variance will not be contrary to the intent and purpose of the Routt County Master Plan. MRE Zoning is noted to provide areas for affordable, mid-density residential development designed in a manner to create livable space in a rural setting, yet conveniently located to reduce unnecessary commuting. Approval of the variance for encroachment to the zoning setbacks will not negatively impact the Routt County Master Plan

The variance request meets all of the requirements as outlined in Section 3.4.5A. and we look forward to the planning department review and presentation to the Board of Adjustment.

We are available to meet or speak 970-871-6772 about the project anytime.

Sincerely;

Walter N. Magill, PE-PLS
Four Points Surveying and Engineering



Looking north. Existing garage on the right, residence in the background.



Looking northwest towards the existing residence.



SOFT SURFACE WALKING TRAIL

PROPOSED CONCRETE PAVING

PROPOSED GRASS PAVERS

EXISTING WELL

EXISTING HOUSE ELEV=7346.5'

ROOF RANG

CA

EXISTING GARAGE

Proposed Structure

PROPOSED COVERED DECK

PROPOSED COVERED PATIO

ROAD EASE

sewer line

YS

SX

15.83

27.60

44.50

28.50

44.50

28.50

28.50

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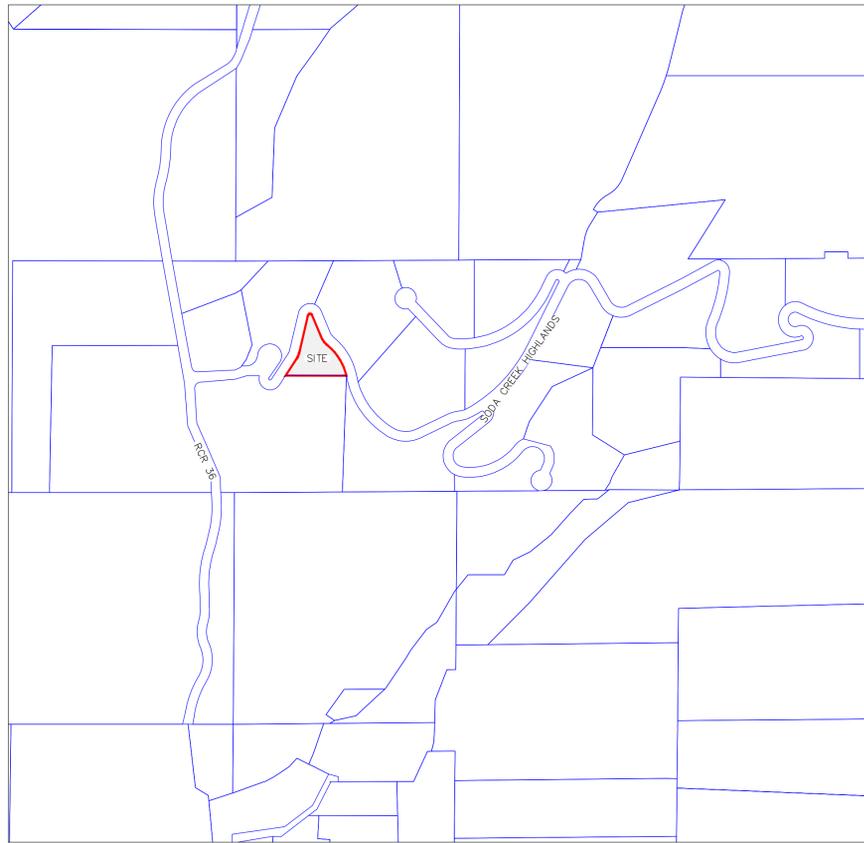
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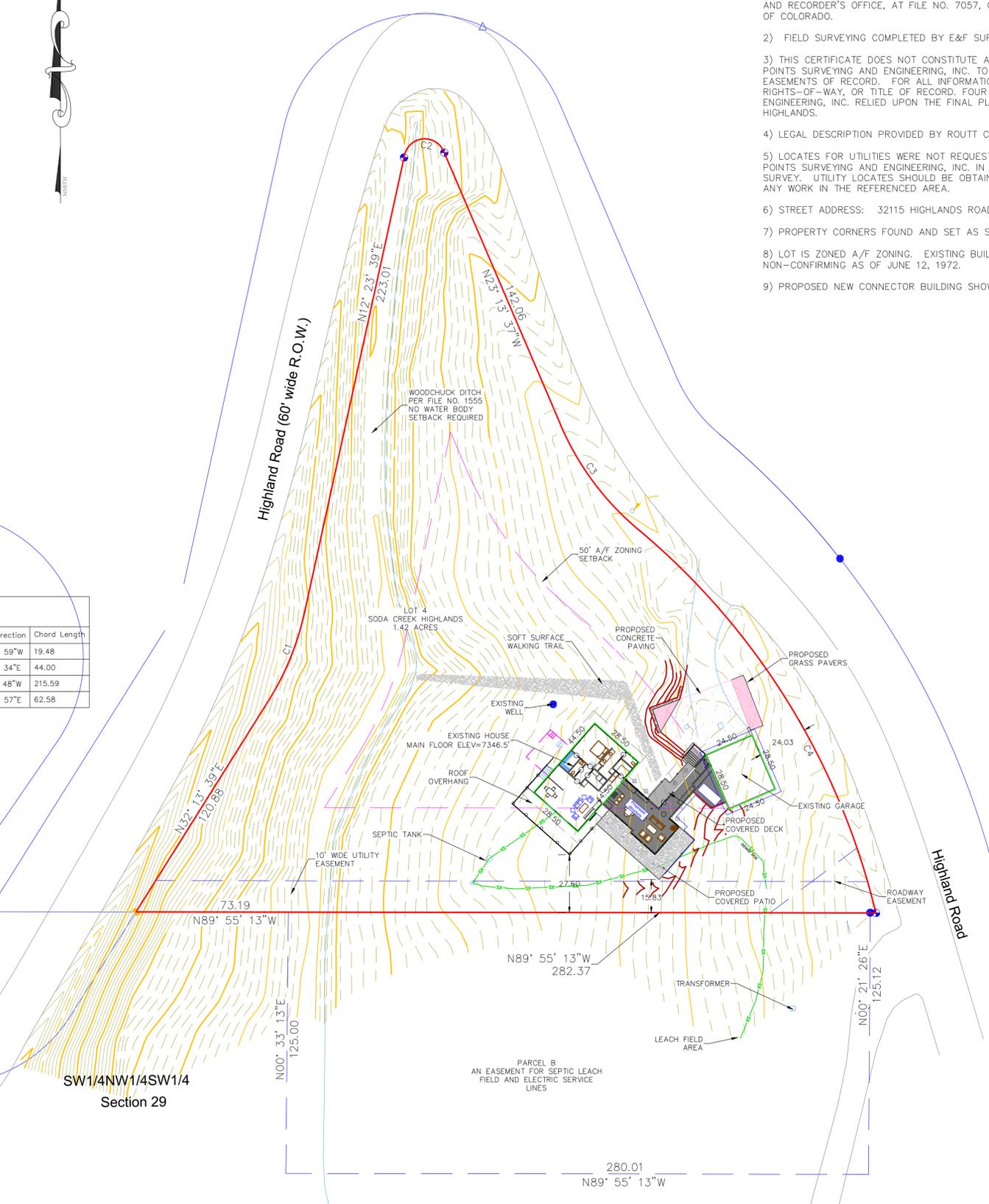
VICINITY MAP
SCALE: 1"=500'



Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C2	26.86	10.00	153.89	S83° 09' 59"W	19.48
C1	44.21	130.00	19.48	N21° 58' 34"E	44.00
C4	219.31	343.00	36.63	N31° 51' 48"W	215.59
C3	63.16	133.82	27.04	S36° 54' 57"E	62.58

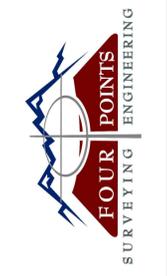
Highland Road

SW1/4NW1/4SW1/4
Section 29



NOTES:

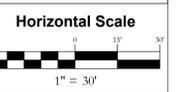
- 1) SITE PLAN AND TOPOGRAPHIC SURVEY OF LOT 4, SODA CREEK HIGHLANDS ACCORDING TO THE PLAT THEREOF AS RECORDED AT CLERK AND RECORDER'S OFFICE, AT FILE NO. 7057, COUNTY OF ROUTT, STATE OF COLORADO.
- 2) FIELD SURVEYING COMPLETED BY E&F SURVEYING.
- 3) THIS CERTIFICATE DOES NOT CONSTITUTE A TITLE SEARCH BY FOUR POINTS SURVEYING AND ENGINEERING, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY, OR TITLE OF RECORD, FOUR POINTS SURVEYING AND ENGINEERING, INC. RELIED UPON THE FINAL PLAT OF SODA CREEK HIGHLANDS.
- 4) LEGAL DESCRIPTION PROVIDED BY ROUTT COUNTY ASSESSOR.
- 5) LOCATES FOR UTILITIES WERE NOT REQUESTED OR OBTAINED BY FOUR POINTS SURVEYING AND ENGINEERING, INC. IN CONJUNCTION WITH THIS SURVEY. UTILITY LOCATES SHOULD BE OBTAINED PRIOR TO PERFORMING ANY WORK IN THE REFERENCED AREA.
- 6) STREET ADDRESS: 32115 HIGHLANDS ROAD, STEAMBOAT SPRINGS.
- 7) PROPERTY CORNERS FOUND AND SET AS SHOWN HEREON.
- 8) LOT IS ZONED A/F ZONING. EXISTING BUILDINGS ARE APPROVED AS NON-CONFIRMING AS OF JUNE 12, 1972.
- 9) PROPOSED NEW CONNECTOR BUILDING SHOWN FOR REFERENCE.



440 S. Lincoln Ave, Suite 4A
P.O. Box 775966
Steamboat Springs, CO 80487
(970)-871-6772
www.fourpointse.com

No.	DATE	REVISIONS	INT

LOT 4, SODA CREEK HIGHLANDS
32115 HIGHLANDS ROAD
STEAMBOAT SPRINGS, CO 80487



Horizontal Scale
1" = 30'
Contour Interval = 2 ft
DATE: 6-25-2020
JOB #: 1105-046
DRAWN BY: WNM
DESIGN BY:
REVIEW BY:

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN A4 X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

DRAWING: SITE PLAN
SHEET # 1 OF 2

*The
 Warhover
 Givens
 Residence*

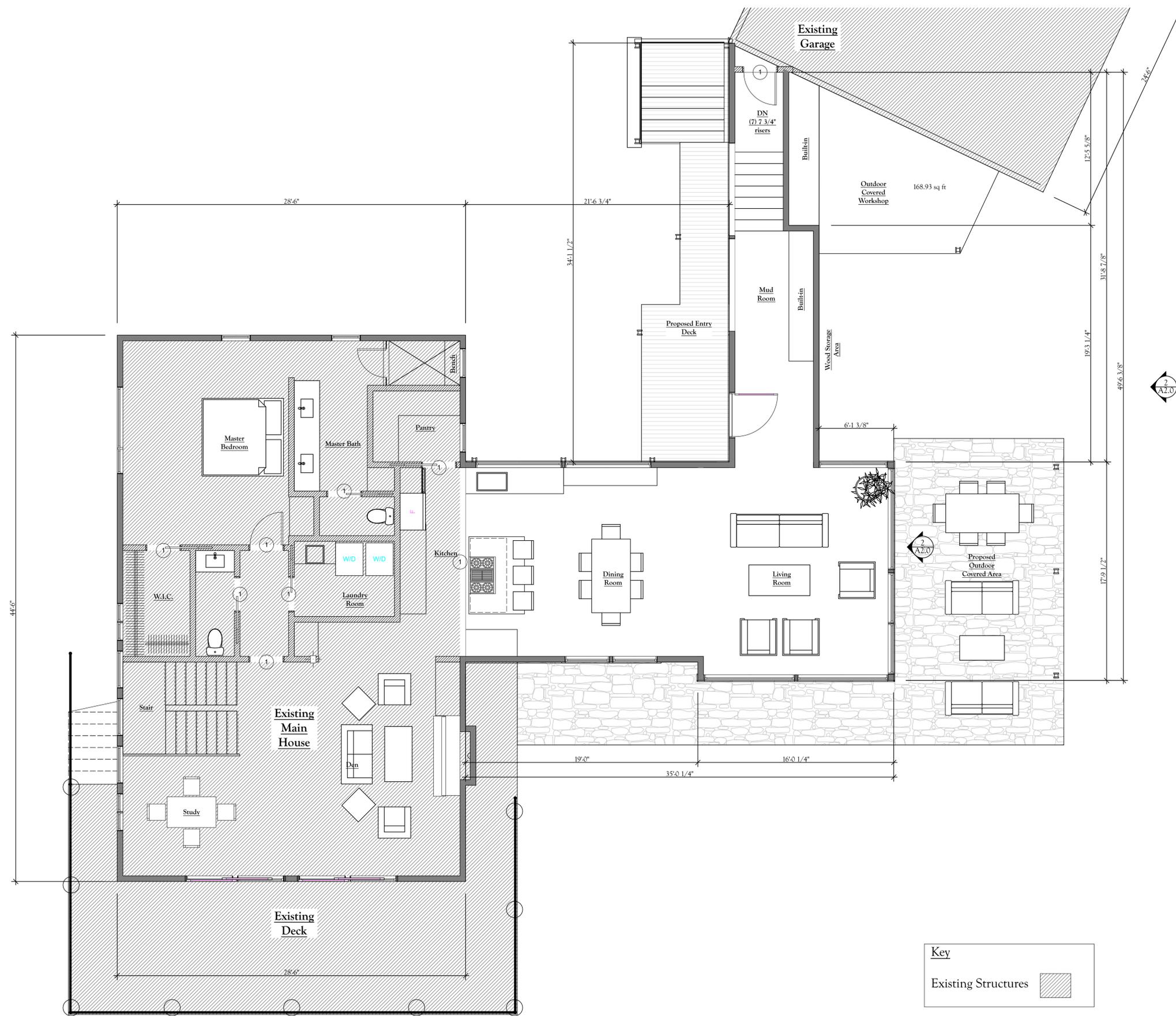
32115 Highland Road
 Steamboat Springs, CO
 80487

5/28/20	Issue for: BOA Review
4/23/20	Issue for: Client Review
4/15/20	Issue for: Client Review

PROJECT NO:
 MODEL FILE:
 DRAWN BY:
 CHK'D BY:
 COPYRIGHT

SHEET TITLE
Main Level Plan

A1.1



Key

Existing Structures

1 Main Level Floor Plan
 SCALE: 1/4" = 1'-0"

Nissen Garage Setback Variance

ACTIVITY #: PL-20-119
**BOARD OF ADJUSTMENT
HEARING DATE:** July 13, 2020 at 6:00 pm

PETITIONER: Jeff Nissen / Windsong Acres, LLC
PETITION: Request to construct a garage in the setback
LEGAL: TR IN TR 105 7-5-85 TOTAL 2A
LOCATION: 33425 County Road 33
ZONE DISTRICT: Agriculture / Forestry
AREA OF PARCEL: 2 acres
**PROPOSED SETBACK
VARIANCE:** Required: 50'
Proposed: 16'
STAFF CONTACT: Tegan Ebbert tebbert@co.routt.co.us
ATTACHMENTS:

- Applicant narrative
- Site plan
- Site visit photos

History:

This parcel was created in May 1972, after the adoption of the Routt County Zoning Regulations. Typically this would be considered an illegal parcel. However, the erroneous approval of a building permit on the parcel changed the status of the parcel to “accepted” by the County, meaning it has all of the same development potential and uses by right as other parcels in the Agriculture / Forestry Zone District.

According to the Routt County Assessor’s inventory records, the existing house located on the parcel has been in existence since 1971 and the existing garage was built in 1975.

The current owner purchased the property in 2018.

Site Description:

The subject parcel is triangular in shape and contains 2 acres. The parcel is bisected by Trout Creek and borders County Road 33 to the southeast. All of the existing development on the parcel is on the northwestern section of the lot.

The lot currently contains one single family residence and a garage that borders the northern property line.

Project Description:

The applicant is proposing to remove the existing garage and to construct a new garage in the same general location on the parcel.

Setbacks for the Agricultural / Forestry Zone District

Property Line Setback	Proposed	Required	Variance
North:	16'	50'	34'

Section 3.4.6 – Standards for Grant of Denial of Variances

- B. Under no circumstances shall a variance be granted on the sole basis of personal convenience or special privilege to the applicant.
- C. Under no circumstance shall the BOA grant a variance to allow a use not permissible under the terms of this Resolution in the appropriate Zone District.
- D. Variances shall be granted with respect to specific plans or within defined parameters. Unless otherwise specified by the BOA, a variance may be transferred to successive owners prior to construction if no changes are made to the approved plan. Variances shall run with the land after the construction of any authorized structures and only for the life of such structures.
- E. The BOA may condition the granting of a variance on the issuance of a building permit within a specific time period and may require the applicant to pursue completion of the construction with due diligence. If such conditions are not satisfied, the variance shall become null and void.
- F. In order to insure that the protection of the public good and the intent and purpose of these Regulations are preserved, the BOA may impose any other condition upon the granting of a variance, including those categories of conditions which may be placed upon Land Use Approvals under Section 3.2.6.

Applicable Regulations – Routt County Zoning Resolution

3.4.6 The Board may grant such variance if all of the following are found to exist:

- 3.4.6.A.1 Peculiar and exceptional practical difficulties or an unnecessary and unreasonable hardship will be imposed on the property owner if the provisions of this Resolution are strictly enforced.

Petitioner Comments: Should the provisions of the Zoning Regulations in Section 3.4.6.A of the Routt County Building Code be strictly enforced, the property owner would endure unreasonable hardship because the residence needs adequate sanitary services which can only be located in a certain portion of the property due to setbacks and Trout Creek. The remaining buildable area of this property is very small. The setbacks for this property's zone (Agricultural & Farming) are exceptional for a property of this size.

Staff Comments: The buildable area is a clear constraint to development on the subject lot. The available land that meets the property boundary setbacks, the setback from the center

line of CR 33, and the waterbody setback is so small and fragmented that it could not feasibly accommodate a garage. Building the garage on the land on the south side of Trout Creek would require either the construction of a bridge across the creek or a second driveway point off of CR 33. Both of those options are not practical because Routt County Public Works only allows one access point per parcel off of a County Road, and the construction of a bridge would require a waterbody setback permit that likely would not be approved as it couldn't meet the necessary criteria. It is an unnecessary and unreasonable hardship to expect that the setbacks can be met on this parcel for this proposed development.

3.4.6.A.2 Circumstances creating the hardship were in existence on the effective date of the regulations from which a variance is requested, or created subsequently through no fault of the appellant.

Petitioner Comments: The Zoning Regulations in Section 3.4.6.A were adopted March 7th, 1972. The Routt County Property Report Card identifies the structure as being purchased on 09/28/2018. Therefore, the circumstances creating the hardship were in existence prior to the requested variance, at no fault of the property owner as the garage currently exists within the setback.

Staff Comments: Although the County Planning Department does not have evidence that this parcel was subdivided prior to March 7th, 1972, the County has acknowledged it as an accepted lot through the previous approval of a building permit. The small area of the lot is no fault of the applicant, who purchased the parcel in 2018.

3.4.6.A.3 That the property for which a variance is requested possesses exceptional narrowness, shallowness, shape or topography or other extraordinary and exceptional situation or condition which does not occur generally in other property in the same Zone District.

Petitioner Comments: The property is triangular, see Property Description above, creating a narrow shape. This property is in an area of Routt County where lots are many acres in size, making the property an exceptional size and shape to the zoning of Agricultural and Farming (AF).

Staff Comments: The current minimum lot size in the Agricultural / Forestry Zone District is 35 acres. This parcel, at 2 acres, is significantly smaller and carries a number of additional site constraints. Because Trout Creek bisects the parcel, the buildable area of the lot is greatly reduced. Per section 5.11 from the Routt County Zoning Regulations, a watercourse that flows for a minimum of 90 days consecutively on an annual basis is subject to waterbody setback regulations. The required setback is 50' from the ordinary high watermark of Trout Creek. The subject property possesses exceptional features: the size and the waterbody, that do not occur generally in other properties in the A/F Zone District.

3.4.6.A.4 That the variance, if granted, will not diminish the value, use or enjoyment of the adjacent properties, nor curtail desirable light, air and open space in the neighborhood, nor change the character of the neighborhood.

Petitioner Comments: The proposed new garage, to be placed near the footprint of the existing garage, will not impede visibility or block light to any adjacent properties. The proposed new residence will not diminish the value of adjacent properties nor will it change the character of the neighborhood. The new garage does not diminish the use of the adjacent property.

Staff Comments: The proposed garage is nearly in the same location and of similar dimensions as the existing garage. It will not impact light, air, or open space to the surrounding parcels. The site is currently surrounded by open, agricultural land with few visible residences. No comment was received from adjacent property owners.

3.4.6.A.5 The variance, if granted, will not be directly contrary to the intent and purpose of this Resolution or the Routt County Master Plan.

Petitioner Comments: The variance requested is not contrary to the intent and purpose of the Zoning Regulations or the Routt County Master Plan.

Staff Comments: Although the Routt County Master Plan does not directly address Variances, this application is not directly contrary to its intent. The applicant is not proposing to increase residential density, they are proposing to replace existing development in kind.

Board of Adjustment Options:

Approve the variance if the above noted tests are met.

Approve conditionally if the above noted tests are met or can be met by the application of certain conditions, or if certain conditions are necessary to mitigate concerns.

Table for specific reasons; e.g. more information, site review, etc.

Deny the variance if it does not meet the criteria stated above or if the variance would create a health or safety hazard or would negatively impact public welfare.

STAFF RECOMMENDATION

Staff recommends **approving** the variance as requested with conditions of approval, based on the following findings of fact.

FINDINGS OF FACT that may be appropriate if the **Variance** is **APPROVED**:

1. Peculiar and exceptional practical difficulties or an unnecessary and unreasonable hardship will be imposed on the property owner if the provisions of this Resolution are strictly enforced because of the **small parcel size and required waterbody setbacks severely constraining the buildable area.**
2. Circumstances creating the hardship were created subsequently through no fault of the appellant because the present nonconformity was created in the early to mid 1970s.
3. The property for which a variance is requested possesses an extraordinary and exceptional situation or condition which does not occur generally in other property in the same Zone District in that the site has a physical constraint limiting the building envelope. **This physical constraint is the small acreage size and waterbody bisecting the parcel.**
4. The variance, if granted, will not diminish the value, use or enjoyment of the adjacent properties, nor curtail desirable light, air and open space in the neighborhood, nor change the character of the neighborhood because the configuration and size of the structure is generally in conformity with the adjacent properties and neighborhood.
5. The variance is not directly contrary to the intent and purpose of this Resolution or the Routt County Master Plan as there are no apparent conflicts with RCZR standards or RCMP policies.

CONDITIONS that may be appropriate include the following:

1. The building shall comply with all applicable requirements of the Routt County Building Department.
2. If construction of the building does not commence within 1 year, this variance shall be subject to another review with full submittal. A 12 month extension may be approved administratively without notice.
3. This approval is specific to the plans submitted in the application. Any change in footprint, size, height or site location that increases the level of non-conformance will be subject to a new application. Minor variations that do not increase the level of non-conformance can be approved administratively, without notice.
4. A foundation only building permit will initially be signed off on by Planning. Prior to Planning signing off on the full building permit, a certified survey of the location of the foundation forms must be submitted.
5. Best Management Practices (BMP's) shall be utilized during construction to prevent erosion and drainage flow onto adjacent properties, drainage to the east of the parcel and the county road right of way.
6. A Grading and Excavation Permit will be required if necessary.
7. All exterior lighting will be downcast and opaquely shielded.
8. Revegetation of disturbed areas shall occur within one growing season with a seed mix which avoids the use of aggressive grasses. See the Colorado State University Extension Office for appropriate grass seed mixes.
9. A Plumbing Agreement for the garage bathroom shall be recorded by the applicant prior to issuance of a building permit.



Steamboat Engineering And Design, Inc.

April 18, 2020

Variance Application Narrative

<p>Contact Information: Sam Samlowski On Behalf of: Jeff Nissen Via phone: 970.871.9101 Via e-mail: sam@seadinc.com</p>	<p>Project Details: A new garage 33425 County Road 533, Routt County, CO SEAD Job Number: 20003</p>
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Written Narrative – Description of Variance Request

Property Description

The Nissen property is a triangular-shaped plot located off the North side of County Road 33 in Routt County, Colorado. The North property line, parallel to County Road 33, is approximately 473 feet long. The West property line, running nearly North-South, is approximately 351 feet long. The South-East property line, connecting the North and West property lines, is approximately 470 feet long. Trout creek runs directly through the middle of the property east to west. The property is a triangular shaped lot, and is approximately 119,790 square feet or 2.75 acres. The Routt County Building Code requires that a 50-foot setback be applied to all property lines resulting in an allowable buildable area of 0.4 acres. Please refer to the attached SEAD drawings, sheet C-1, and Western Slope Geotech’s report.

The existing main residence and garage on the property are almost entirely within the 50-foot required setback from the North property line and is approximately 30 feet South of the property line.

Relief Requested

The property owner would like to request a variance to the Routt County Zoning Regulations such that a new garage may be constructed next to the main residence, in nearly the same location as the existing garage. The proposed new garage will not extend any further into property line setbacks than the existing garage and will be built partially within the existing garage’s footprint. The relief needed requires moving the North setback to 16’ from the property line.

Reason for the Request

A new concrete septic tank and leach field needs to be installed near the existing residence while keeping the necessary distance from Trout Creek (please refer to Western Slope Geotech’s onsite water treatment system design). The proposed septic tank also needs to clear the 100’ well setback which is the reason behind the new garage location. The properties buildable area within the setbacks is small when considering that Trout Creek runs directly through the middle of the buildable area. The highwater mark for Trout Creek restricts the buildable area even more. Please refer to sheet C-1. The requested variance and design of the garage and septic tank aim to move the developments away from Trout Creek, while maintaining proper clearances.

Written Narrative – Routt County Zoning Regulations Section 3.4.6.A Standards

Peculiar and Exceptional Difficulties

Should the provisions of the Zoning Regulations in Section 3.4.6.A of the Routt County Building Code be strictly enforced, the property owner would endure unreasonable hardship because the residence needs adequate sanitary services which can only be located in a certain portion of the property due to setbacks and Trout Creek. The remaining buildable area of this property is very small. The setbacks for this property's zone (Agricultural & Farming) are exceptional for a property of this size.

Circumstances Creating Hardship Already in Existence

The Zoning Regulations in Section 3.4.6.A were adopted March 7th, 1972. The Routt County Property Report Card identifies the structure as being purchased on 09/28/2018. Therefore, the circumstances creating the hardship were in existence prior to the requested variance, at no fault of the property owner as the garage currently exists within the setback.

Property Geometry – Narrowness and Shape

The property is triangular, see *Property Description* above, creating a narrow shape. This property is in an area of Routt County where lots are many acres in size, making the property an exceptional size and shape to the zoning of Agricultural and Farming (AF).

Variance Will Not Diminish Value

The proposed new garage, to be placed near the footprint of the existing garage, will not impede visibility or block light to any adjacent properties. The proposed new residence will not diminish the value of adjacent properties nor will it change the character of the neighborhood. The new garage does not diminish the use of the adjacent property.

Zoning Regulation Intent and Routt County Master Plan

The variance requested is not contrary to the intent and purpose of the Zoning Regulations or the Routt County Master Plan.

Please do not hesitate to reach out with any questions regarding this document.

Sincerely,

Sam Samlowski

Steamboat Engineering And Design, Inc.
Sam Samlowski, E.I.T. , Project Engineer
sam@seadinc.com

ARCHITECTURAL NOTES

GENERAL

All work must comply with state and local codes, based on the Routt County Zoning Regulations, the 2015 International Building Code, the 2015 International Residential Code, the International Plumbing Code, the International Mechanical Code, the Energy Conservation Code and the International Electric Code. The contractor shall comply with all laws, ordinances, rules and regulations of any public authority bearing on the performance of the work, including O.S.H.A.

Location of the utilities (electrical, telephone, cable TV, gas, water, sewer) shall be verified before construction begins.

All on site construction safety and construction means and methods are the responsibility of the contractor. There is no implication of the construction safety requirements or building methods contained in these drawings.

Actual site conditions may require that some of the components of the work should be done differently than shown on these drawings. All dimensions and conditions to be verified by the contractor prior to construction. Verify changes with the designer and engineer.

These drawings represent a simplified builder's set of plans. Additional detailing may be required of the engineer during construction.

Any variation which requires a physical change from these plans must be brought to the attention of the designer and engineer in order to maintain the design intent of the project.

All work connected with this project by any trade involved shall be of the highest quality attainable in accordance with the professional practice of the trade.

DIMENSIONS

All interior and exterior dimensions are to face of stud or face of concrete, U.N.O.

All exterior walls are nominal 2x6 stud construction, U.N.O. All interior walls are nominal 2x4 stud construction, U.N.O.

Do not scale drawings.

The water closet stool shall be located in a clear space of not less than 30" in width. The clear space in front of the water closet stool shall be not less than 21".

Crawl space access shall be provided w/ min. 18"x24" through the floor & min. 16"x24" through the wall.

Minimum clear ceiling height is 7ft for habitable space & hallways & 6'-8" for bathrooms, laundry rooms & stairs. Exceptions apply for sloped ceilings and basements per R305

If any discrepancies are found in these drawings notify engineer and/or designer immediately.

WINDOWS

Habitable spaces within dwelling units shall have natural light provided by exterior openings equal to 8% of the floor area. Natural ventilation shall be provided by means of operable exterior openings equal to 4% of the floor area.

Laundry rooms, toilet rooms and bathrooms shall either have an operable window or be mechanically ventilated.

Safety glazing shall be provided in the following hazardous locations:

- 1) In doors where glazed opening is greater than 3'0"
- 2) Within 24" adjacent to doors if less than 60" above the walking surface
- 3) Single panes where all following conditions exist: greater than 9 sq.ft., less than 18" above the floor, top edge higher than 36" above the floor and within 36" horizontal distance of walking surface.
- 4) Glazing in guards and railings
- 5) Glazing containing wet surfaces of bathtubs, showers, pools, etc. if less than 60" to walking surface.
- 6) Adjacent to the bottom stair landing w/in 60" arc length if less than 36" above landing
- 7) Site-built Windows
- 8) Skylights and glazing sloped more than 15°

Sleeping rooms and basements w/ habitable space shall have min. one operable emergency escape w/ min 5.7 sq. ft. openable area, min. 20"x41" clear or min. 34"x24" clear & max 44" sill height. (R310.2)

STAIRWAYS:

Stairs shall have a minimum 36" clear width on interior stairs and 48" on exterior stairs. The surface of stairs shall be slip resistant. Minimum vertical headroom is 6'-8" from the nosing. Maximum riser height is 7³/₈", and minimum tread depth is 10".

Landings shall be provided at the top and bottom of each stairway with a length no less than the width of the stairway served. Landings are not required at the top of interior stairs provided that a door does not swing over the stairs.

Handrails shall be provided on at least one side of each continuous stair flight with four or more risers, and shall be 34"-38" tall, measured vertically from the sloped plane of the tread nosings. Handrails shall comply with R311.7.8.

Open sides of stairways, landings, ramps, balconies and porches which are more than 30" above grade shall be protected by a guardrail. All guardrails must be 36" above finished floor and shall allow no more than a 4" diameter sphere to pass through any portion of the railing per IRC R312.

Walls and ceilings of enclosed usable space under stairs requires 1/2" gypsum wallboard. The door to access such spaces need not be rated.

FIRE PROTECTION

Provide smoke detection per IRC section R314.

Opening between a private garage and residence shall be min. 1-3/8" thick, of solid wood, or solid honeycomb core steel doors or 20-min fire rated. Openings between garages and sleeping rooms prohibited. Habitable rooms located above garages shall be protected w/ min 5/8" Type X gypsum board

ROOF ASSEMBLIES (IRC CHAPTER 8 & 9)

Roof ventilation of enclosed roof assemblies shall comply with R806 and shall provide min. net free ventilating area of 1/300 of the area of the vented space. Provide 40%-50% of the ventilators no more than 3ft. below the highest point of the roof, and the remainder at the eaves. All vents shall be protected against entrance of rain or snow and shall have openings between 1/8"- 1/4". Min. 1" air flow space shall be provided between the insulation and roof sheathing.

Unvented roof assemblies shall comply with R806.5 and shall be completely within the thermal envelope. The roof shall dry to the inside, thus Class I vapor retarder shall NOT be installed on the ceiling. If air-impermeable insulation is used, it shall be Class II vapor retarder, min. R-49, and be applied directly to the underside of sheathing. If air-permeable insulation is used in the cavity, it shall be min. R-19 applied to underside of sheathing & shall be accompanied by min. R-30 continuous rigid board insulation above the sheathing. Alternatively, R-30 air-impermeable insulation can be applied to the underside of sheathing, w/ min. R-19 air-permeable beneath.

Provide Grace 'Ice and water shield', or equivalent product, from the edge of roof overhangs to the ridge.

Asphalt shingles shall comply with R905.2 & require double underlayment when applied on 2:12 to 4:12 roof pitches. Standing seam metal roofing shall have min. 1/4:12 slope & comply w/ R905.10

Attic access shall be provided if attic is more than 30" tall (measured from top of ceiling framing to underside of roof framing members for more than 30 sq. ft. Access shall have a rough-framed opening of min. 22"x30" with min. 30" clear headroom.

CHIMNEYS & FIREPLACES (IRC CHAPTER 10)

Wood or other combustible materials shall not be placed within 2" from the front face and sides and not less than 4" from the back of masonry fireplaces

All masonry chimneys shall extend 2ft. higher than any portion of a building within 10' & min. 3ft. above the highest point where the chimney penetrates the roof.

MECHANICAL/ENERGY SYSTEMS:

Appliances located in garages and having an ignition source shall be elevated such that the source of ignition less than 18" above the floor.

Dryer exhaust systems shall be independent of all other systems, shall transport the moisture to the outdoors and shall terminate on the outside of the building in accordance with M1501 and M1502

Heating and Cooling equipment appliances shall be installed per manufacturers instructions and in accordance with IRC, Chapter 14

Meter location must be approved by an Atmos Energy Corporation employee during a mandatory site visit to be scheduled after foundation is in place. Meters will not be allowed under a shedding roofline or where overhanging snow is a danger to the meter set

If located within city limits of Steamboat Springs, the building or dwelling unit shall be tested with a blower door test by a certified 3rd party and verified as having an air leakage rate not exceeding three air changes per hour as per R402.4.1.2 testing. A certificate of completion must be submitted to the Routt County Building Department prior to a TCO or CO being issued.

Provide whole-house mechanical ventilation in accordance with Section M1507.3 and mechanical ventilation system fans shall meet the efficacy requirements of Table R403.6.4

Heating load calculations and equipment sizing shall be submitted for review and approval when applying for a mechanical permit. Do not install or inspect mechanical equipment or HVAC until submitted to RCRBD and approved.



SHEET SCHEDULE	
SHEET	CONTENTS
A-0	TITLE PAGE & ARCHITECTURAL NOTES
C-1	SITE & UTILITY PLAN, VICINITY MAP & CODE STUDY
A-1	FLOOR PLANS
A-2	BUILDING ELEVATIONS
A-3	BUILDING SECTION AND TYPICAL WALL DETAIL
S-1	FOUNDATION PLAN & STRUCTURAL NOTES
S-2	ROOF & LOFT FRAMING PLAN AND SECTION
S-3	PORTAL FRAME, ROOF SECTIONS & TRUSS SCHEMATICS

NISSEN GARAGE

NOT FOR
CONSTRUCTION

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JEFF NISSEN

ISSUE DATES

REVIEW SET
4 . 9 . 20
VARIANCE
5 . 4 . 20

DRAWN BY: SWS
REVIEWED BY: JEM
PROJECT # 200003

COVER SHEET

A-0

SHEET 1 of 8

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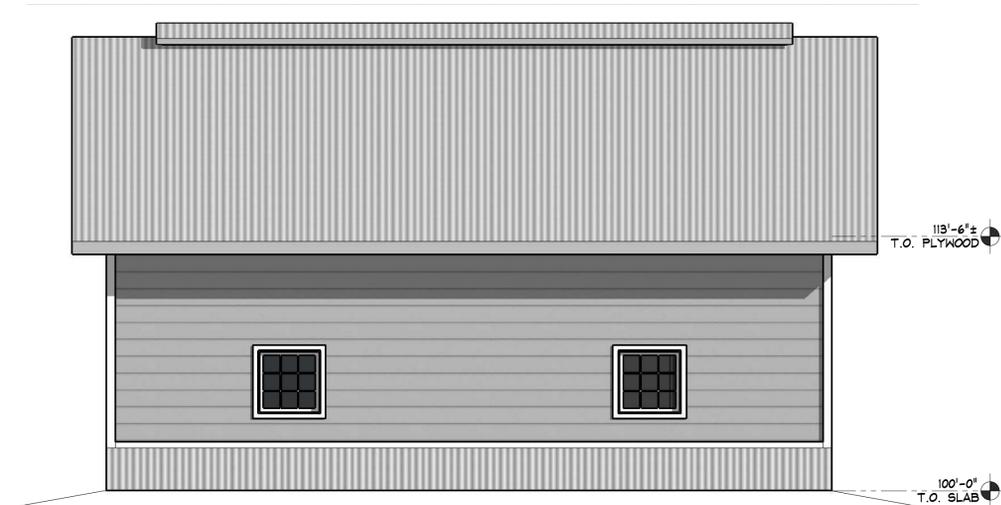
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VARIANCE
5 . 4 . 20

DRAWN BY: SMS
REVIEWED BY: JEM
PROJECT # 20003

BUILDING ELEVATIONS

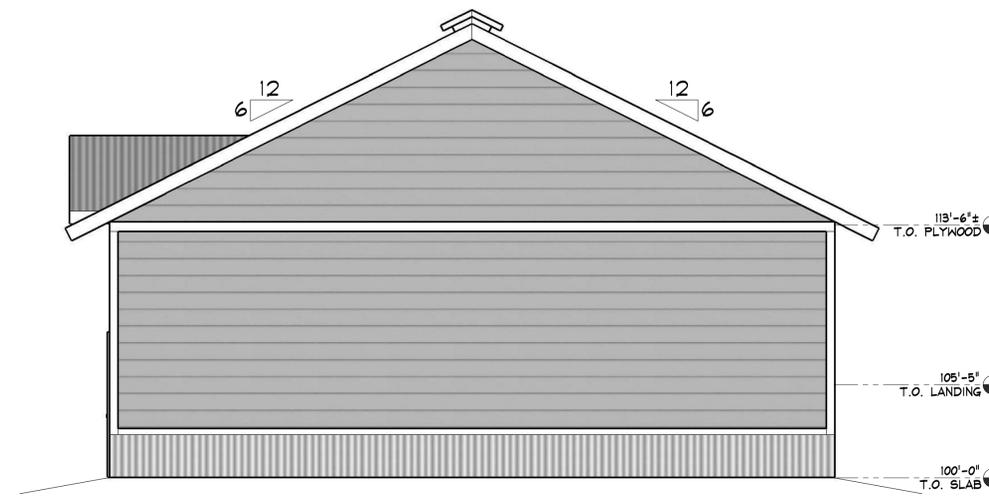
A-2

SHEET 4 of 8



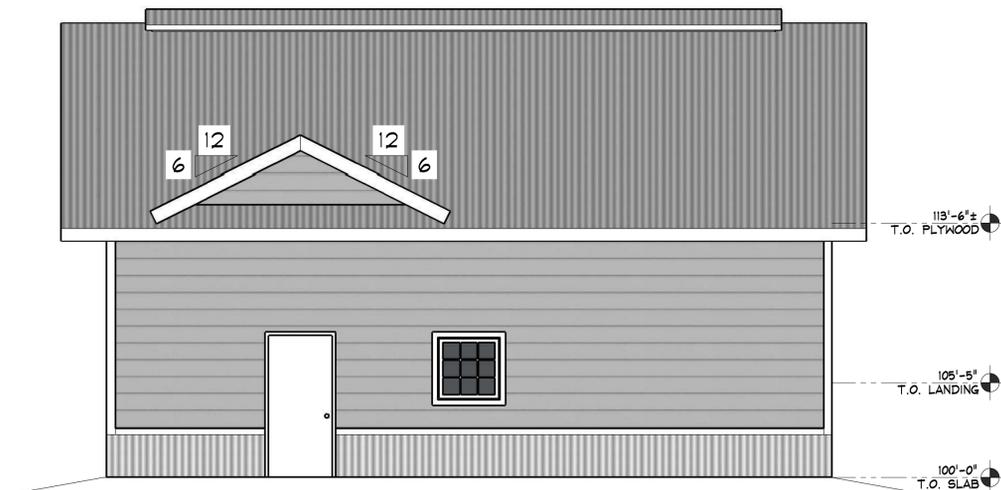
4 WEST ELEVATION
Re: 1/A-2 FOR TYPICAL NOTES

SCALE: 1/4" = 1'-0"



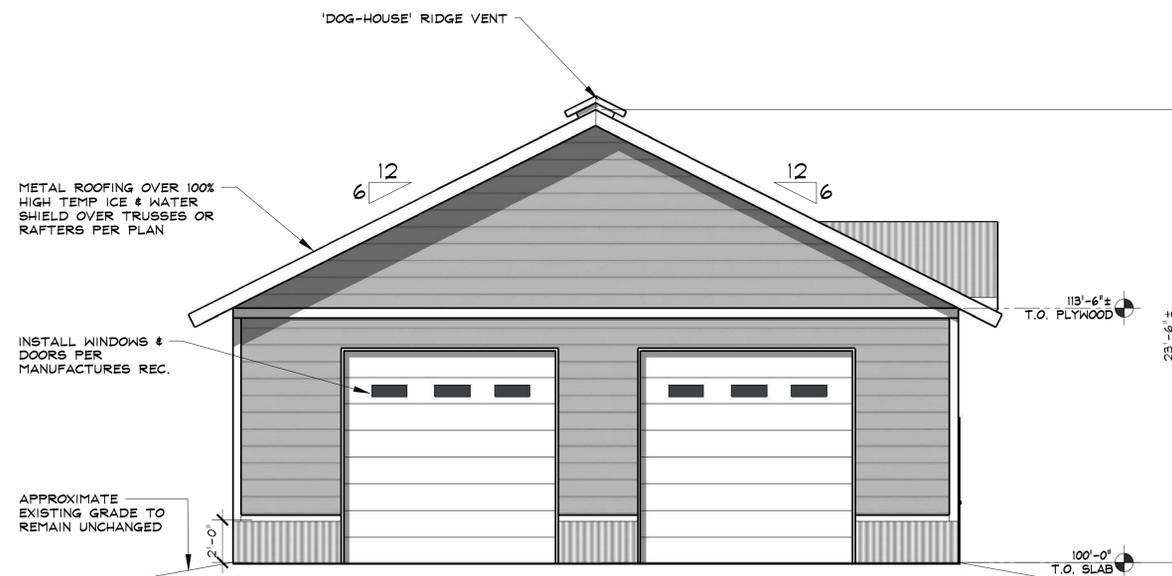
3 NORTH ELEVATION
Re: 1/A-2 FOR TYPICAL NOTES

SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
Re: 1/A-2 FOR TYPICAL NOTES

SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
NOTES THIS ELEVATION TYPICAL
FINAL DOOR & WINDOW SIZES TO BE DETERMINED OWNER & CONTRACTOR

SCALE: 1/4" = 1'-0"

ENERGY CODE STANDARDS

Re: 2015 International Energy Conservation Code Table 402.1.2

Insulation & Fenestration Requirements By Component^a

Climate Zone	Fenestration U-factor ^b	Skylight ^b U-factor	Glazed Fenestration SHGC ^{b,c}	Ceiling R-Value	Wood Framing R-Value	Mass Wall R-Value	Floor R-Value	Basement ^e Wall R-Value	Slab ^d R-Value & Depth	Crawl Space ^e R-Value
7 & 8	0.32	0.55	NR	49	20+5 (2X6 WALL) 13+10 (2X4 WALL)	19/21	38 ^g	15/19	10.4 ft.	15/19

a R-Values are minimums. U-factors & SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.

b The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.

c "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior basement wall.

d R-5 shall be added to the required edge R-Values of heated slabs. Insulation depth shall be the depth of the footing, or 2 feet, whichever is greater.

e Or insulation sufficient to fill the framing cavity, R-19 minimum.

f The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.

g The second R-Value applies when more than half the insulation is on the interior of the wall mass.

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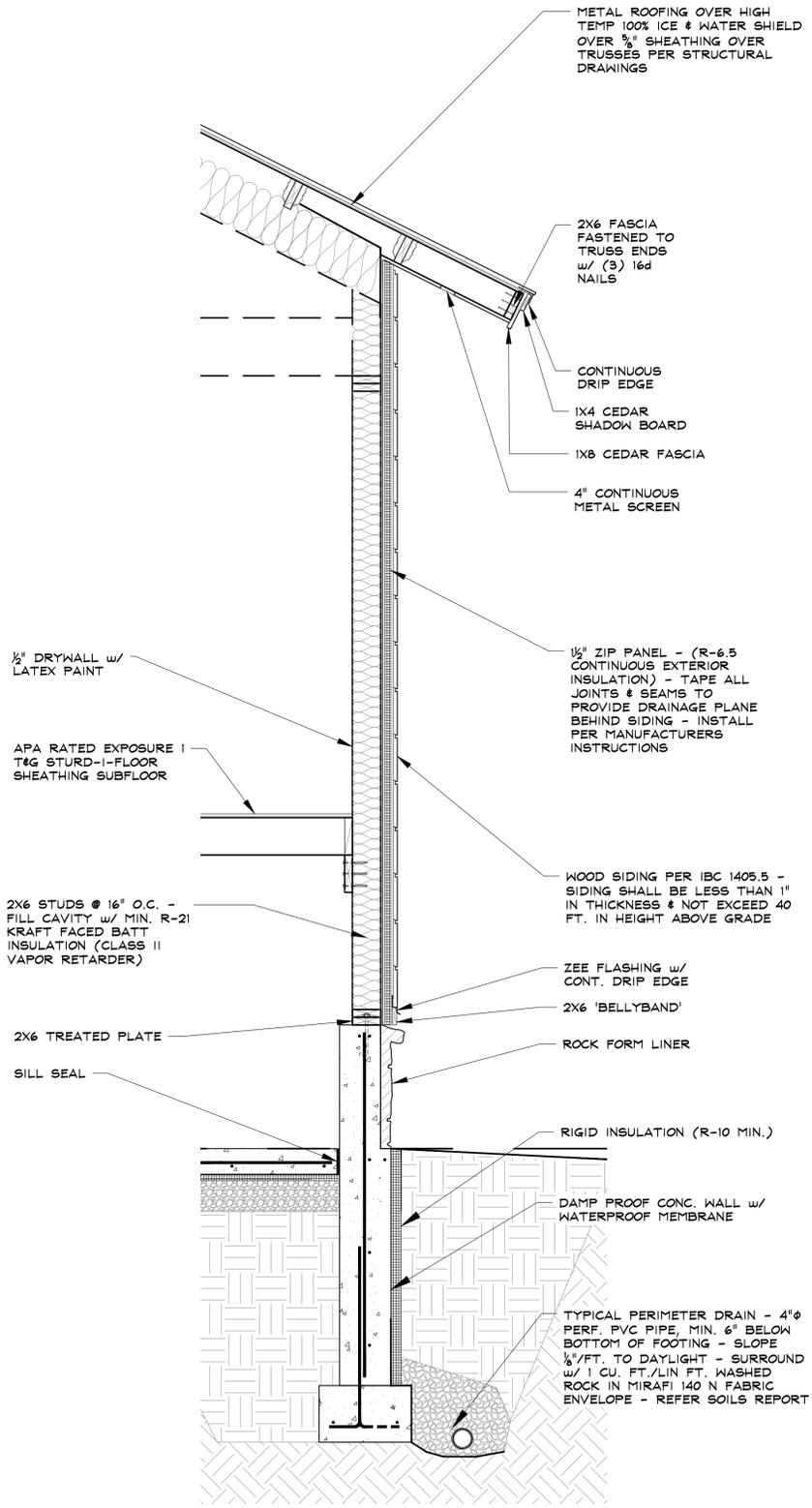
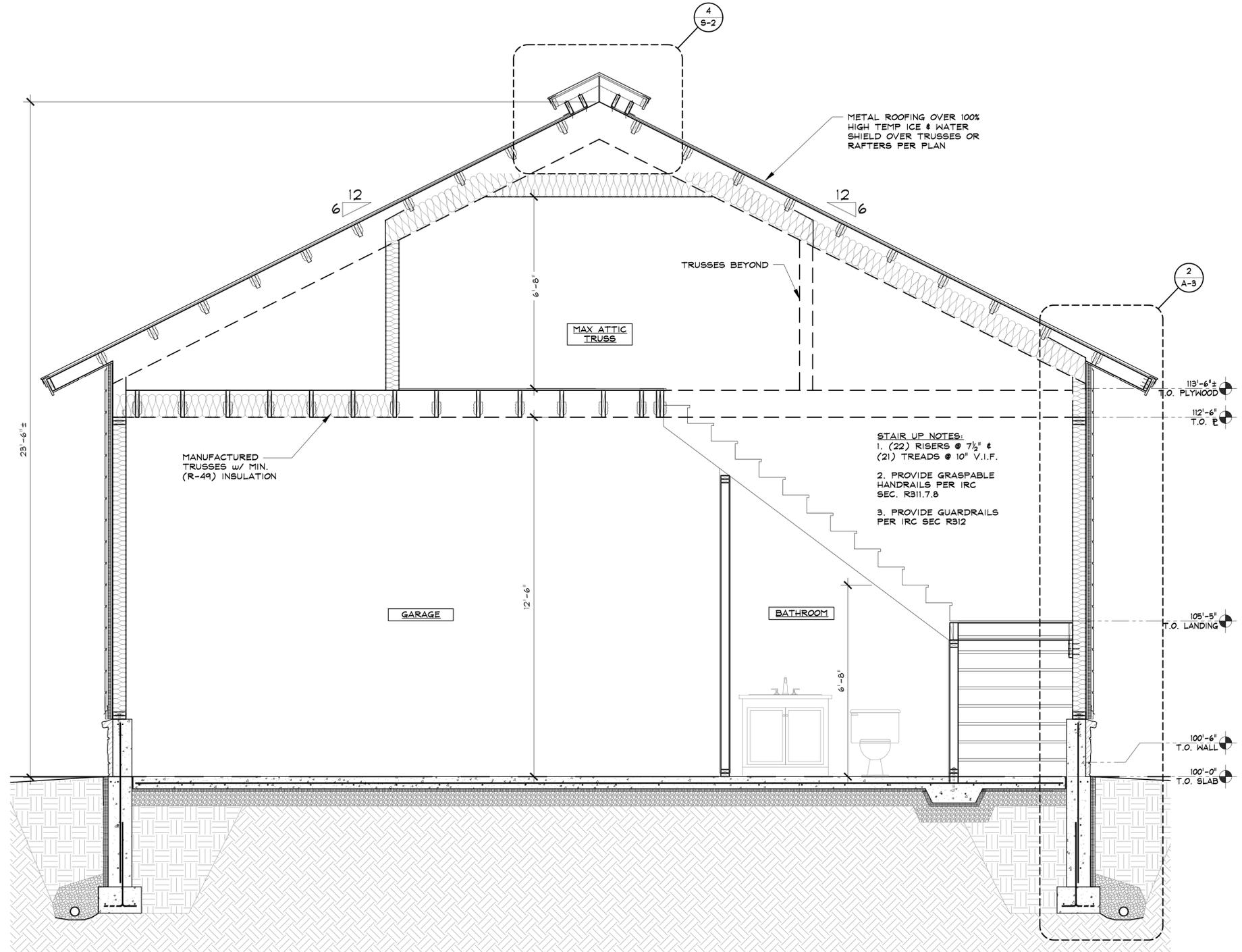
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REVIEWED BY: JEM
PROJECT # 20003

BUILDING SECTION & TYPICAL WALL

A-3

SHEET 5 OF 8



2 TYPICAL WALL SECTION

SCALE: 3/4" = 1'-0"

1 BUILDING SECTION

SCALE: 1/2" = 1'-0"

STRUCTURAL NOTES

- Applicable Codes and Standards:**
- 2015 International Building Code (including all local adoptions)
 - 2015 International Residential code (including all local adoptions)
 - City of Steamboat Springs Community Development Code
 - "Minimum Design Loads for Buildings and Other Structures" - ASCE 7-10
 - "Building Code Requirements for Structural Concrete" - ACI318
 - "Steel Construction Manual" - AISC fourteenth edition
 - "National Design Specification for Wood Construction" - ANSI/APA-NDS 2015

- Design Live Loads:**
- Roofs: 84 psf Ground Snow Load, 65 psf Roof Snow Load
 - Floors: 40 psf
 - Decks: 100 psf
 - Wind: 115 mph, Exposure B
 - Seismic Design: Category B, Soil Type D

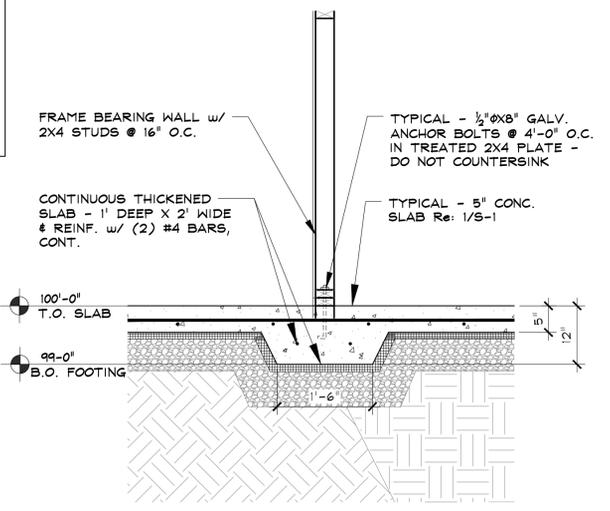
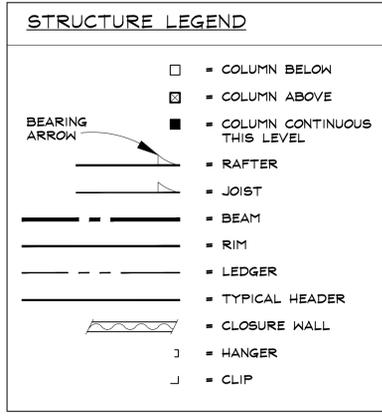
- Foundation Criteria:**
- Design of continuous and individual footings is based on a maximum allowable soil bearing pressure of 2,500 psf dead load plus full live load on the natural undisturbed soils below frost depth. Refer to soils report No. 19-1049 by Western Slope Geotech

- Reinforced Concrete:**
- Structural concrete shall be Type I, and have a minimum 28 day strength of 3,000 psi. Exterior concrete slabs shall be Type I and have a minimum 28 day strength of 4,000 psi. All concrete shall have a min 6% (+/- 1.5%) entrained air for durability and a 4" (+/- 1") slump. The maximum aggregate size shall be 3/4". Concrete shall not be placed on frozen ground and shall be protected from freezing for a minimum of 7 days. During cold weather the methods and specifications set forth in ACI 306R-88 shall be followed to prevent frost damage.
 - All concrete work shall conform to the requirements of ACI318 and 301, latest edition.
 - All exposed edges shall have a 3/4" chamfer.
 - Reinforcing bars shall conform to ASTM spec. A615-79 and shall be Grade 60.
 - At splices, lap bars a minimum of 38 diameters. At corners and intersections, make horizontal continuous or provide matching corner bars. Around openings in walls and slabs, provide (2) #5 bars extending a minimum of 2 feet beyond the edge of the opening. Continuous top bars in walls shall be spliced at mid-span. Continuous bottom bars in walls shall be spliced at supports.
 - Concrete cover shall conform to ACI 318-08, 7.7. Unless a greater cover is required, concrete cast against earth shall have 3in. min. cover, concrete exposed to earth or weather shall have 2in. min. cover for No. 6 bars & greater, & 1 1/2in. min. cover for No. 5 bars & smaller. Concrete not exposed to weather shall have 3/4" min. cover for No. 11 bars & smaller.
 - Welded wire fabric shall conform to ASTM 185 and shall be lapped one full mesh at splices and tied together.
 - Concrete shall be adequately consolidated/vibrated during placement to ensure it is thoroughly placed around all reinforcing steel and embedded fixtures.
 - Unless noted otherwise, slabs, footings and walls shall not have any horizontal 'cold joints.' All construction joints shall be detailed or reviewed by the Engineer of Record.
 - Interior concrete slab finish shall be steel trowel finished and exterior concrete slabs shall be broom finished.

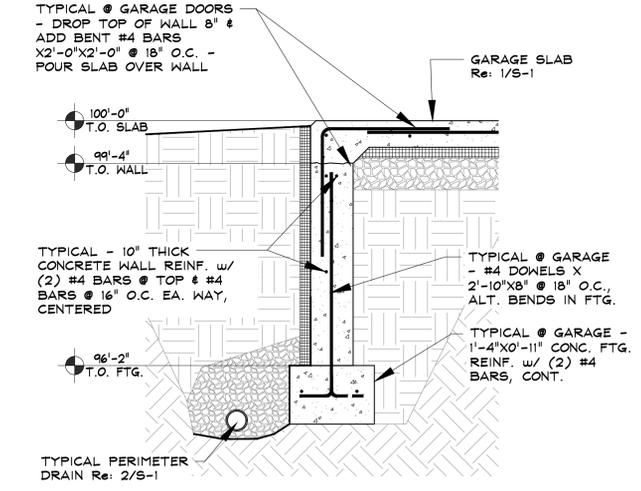
- Structural Steel:**
- Structural steel shall be detailed and fabricated in accordance with the latest version of the AISC Manual of Steel Construction.
 - All bolts, including anchor bolts, shall conform to ASTM spec. A307.
 - Structural steel rolled shapes, including plates and angles, shall be ASTM A36.
 - Expansion bolts called for on the drawings shall be Simpson "Weg-All", "Strong-Bolt 2" or approved wedge type anchors with the following minimum embedments: 3/4" diameter bolts - 3 3/8", 5/10" diameter bolts - 2 3/4", 1/2" diameter bolts - 2 1/4".
 - All epoxy shall be Simpson "Set-XP" and shall be installed per the "Anchoring and Fastening Systems For Concrete and Masonry" Simpson catalog #C-SAS-2012 by a qualified personnel.
 - Field welded connections must be inspected by the Engineer of Record.
 - Fillet welds indicated on the plans shall be of E70xx electrodes and shall be the minimum size specified in the AISC Manual of Steel Construction, Table J2.4.
 - All welds shall be performed by a certified welder.

- Structural Wood Framing:**
- Unless noted otherwise, all 2" lumber shall be Douglas Fir S4S No. 2 and better. All solid timber beams and posts shall be DF-L No. 1 or better.
 - Unless noted otherwise, minimum nailing shall be provided as specified in Table No. 2304.9.1, "Fastening Schedule", of the 2015 IBC or Table No. R602.3(1), "Fastener Schedule For Structural Members", of the 2015 IRC.
 - Wall and floor sheathing shall be APA rated with exterior glue and graded in accordance with APA standards. Panel identification and thickness shall be as noted on the drawings.
 - Where light gauge framing anchors are shown or required, they shall be Simpson "Strong Tie" (or equal approved by ICBO). They shall be installed with the number and type of fasteners recommended by the manufacturer to develop the rated capacity.
 - Laminated Veneer Lumber shall be of such stress grade to provide an allowable bending stress of 2,600 psi, allowable shear stress parallel to the glue line of 285 psi and a modulus of elasticity of 1,900,000 psi.
 - Glue laminated timber shall be stress grade marked 24F-V4 unless noted otherwise.
 - Roof trusses shall be designed by a Colorado Registered Professional Engineer to support the full live load and dead loads of the roof, ceiling, and any other superimposed loads. Calculations and shop drawings, including member sizes, lumber species, and grade and substantiating data for connector capacities and truss bearing, shall be submitted to the Architect or Engineer for review and approval prior to fabrication.
 - Floor joists shall be plant fabricated I series with LVL or solid wood flanges and plywood or OSB webs, and shall carry ICBO approval for a complete section. Joists shall be designed to carry full live and dead loads of the roof(s), floor(s), and any superimposed loads.
 - Roof overframing shall be 2x6 rafters @ 24" O.C. w/ 2x6 studs @ 24" O.C. to stack over rafters or purlins below.

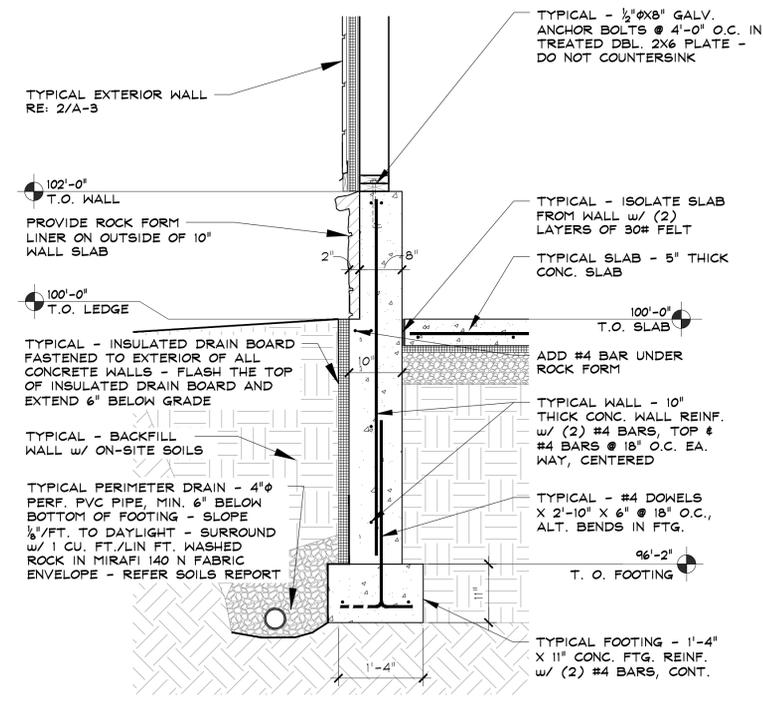
- Field Verification:**
- The contractor shall thoroughly inspect and survey the existing structure to verify dimensions, elevations, framing, etc., which may affect the work shown on the drawings and report any variations or discrepancies to the Engineer.



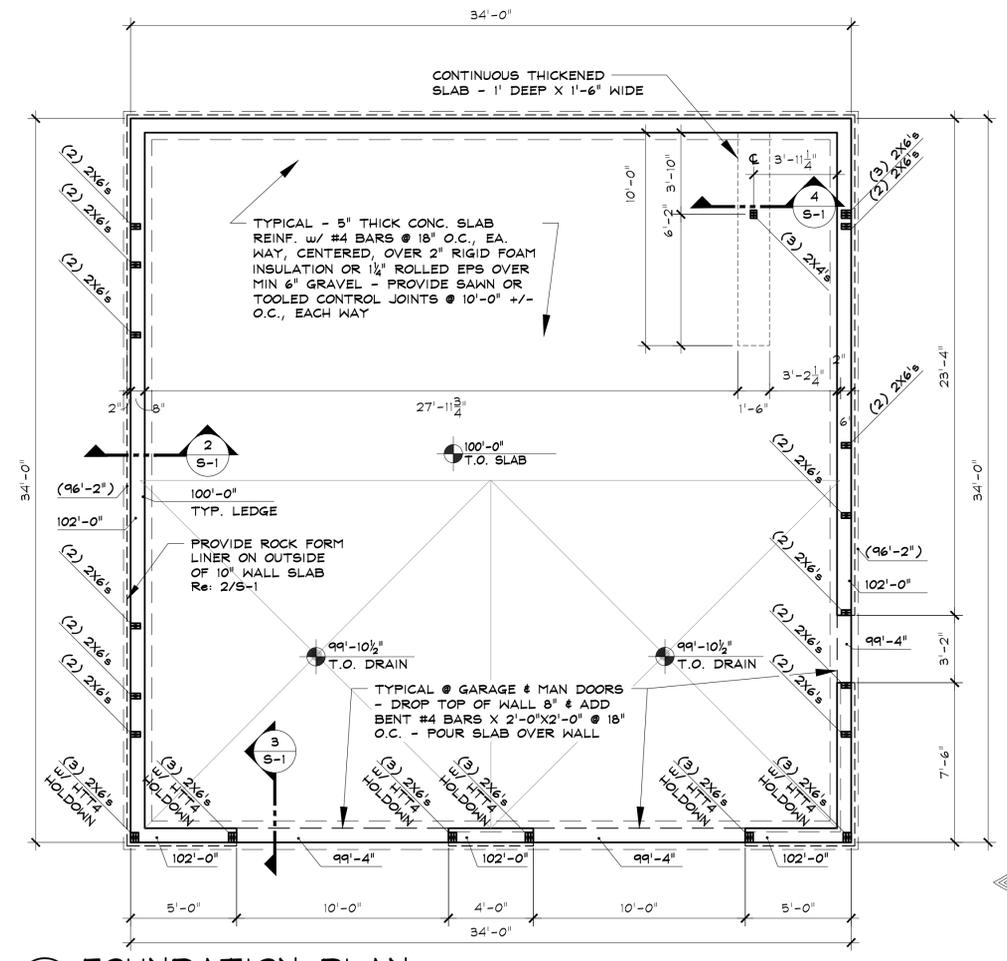
4 THICKENED SLAB @ BEARING WALL
SCALE: 3/4" = 1'-0"



3 CONCRETE SLAB @ OPENINGS
SCALE: 3/4" = 1'-0"



2 TYPICAL CONCRETE WALL
SCALE: 1/4" = 1'-0"



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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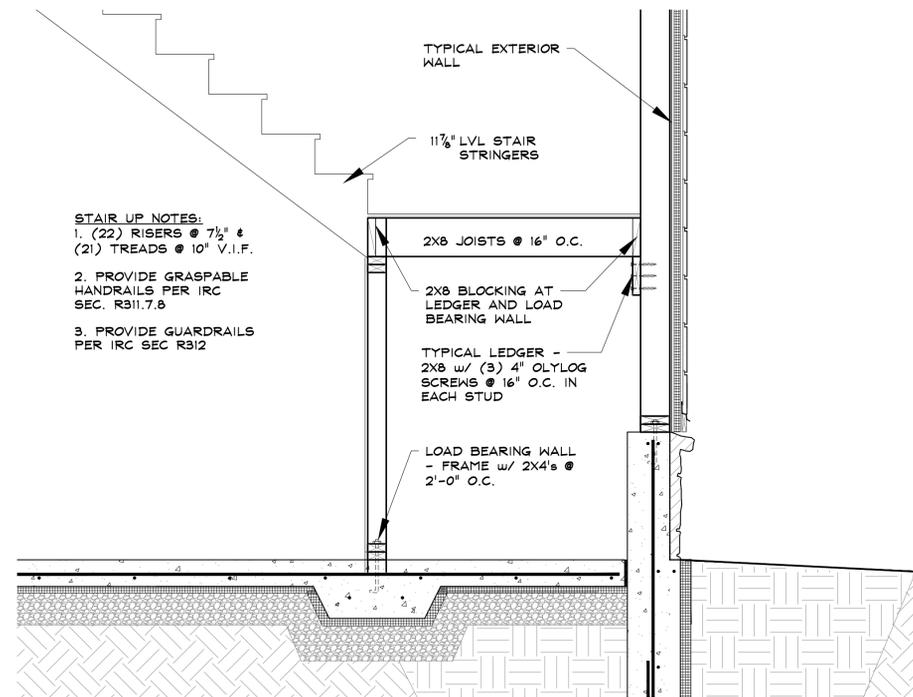
ISSUE DATES

REVIEW SET	4 . 9 . 20
VARIANCE	5 . 4 . 20

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REVIEWED BY: JEM
PROJECT # 20003

FOUNDATION PLAN
& STRUCTURAL NOTES

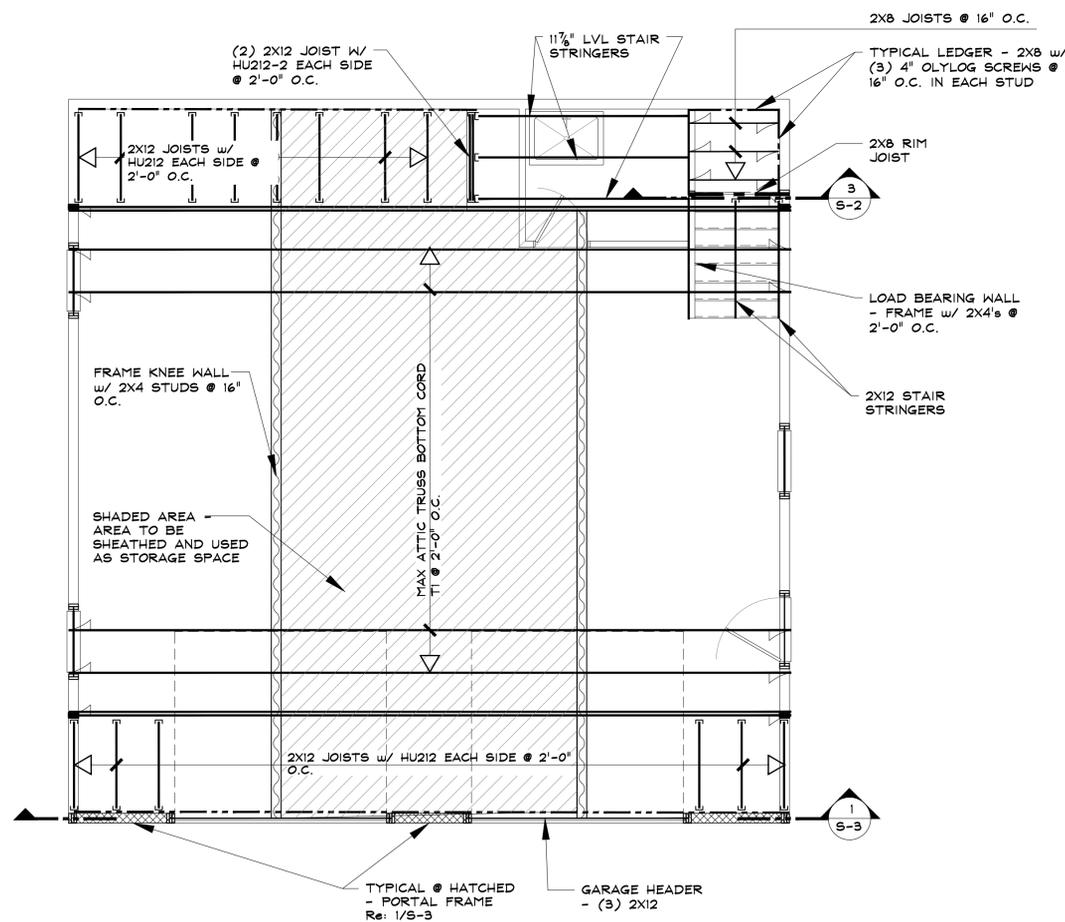
S-1
SHEET 6 of 8



STAIR UP NOTES:
 1. (22) RISERS @ 7 1/2" & (21) TREADS @ 10" V.I.F.
 2. PROVIDE GRASPABLE HANDRAILS PER IRC SEC. R311.7.8
 3. PROVIDE GUARDRAILS PER IRC SEC R312

3 STAIR LANDING FRAMING

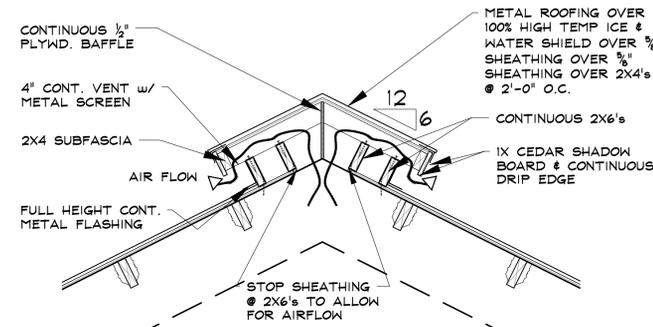
SCALE: 3/4" = 1'-0"



2 LANDING AND LOFT FRAMING PLAN

SCALE: 1/4" = 1'-0"

TYPICAL - 3/8" APA RATED EXPOSURE 1 T&G STURD-I-FLOOR SHEATHING
 TYPICAL HEADER THIS PLAN - (3) 2X10's, w/ (1) TRIMMER & (1) KING STUD EA. END, U.N.O.
 TYPICAL - ELEVATION @ TOP OF BEAM INDICATED THUS: (ELEV.)
 TYPICAL - COLUMNS THAT BEGIN THIS LEVEL ARE INDICATED ON PLAN



4 DOG-HOUSE RIDGE VENT SECTION

SCALE: 1" = 1'-0"

BALLOON FRAME GABLE END WALL TO BOTTOM OF LOOKOUTS w/ 2X6 LSL STUDS @ 16" O.C.

NOTE: X INDICATES FULL HEIGHT BLOCKING & DIAPHRAGM NAILING Re: 2/5-3

COLUMN LEGEND	
□	= COLUMN BELOW
▣	= COLUMN ABOVE
■	= COLUMN CONTINUOUS THIS LEVEL

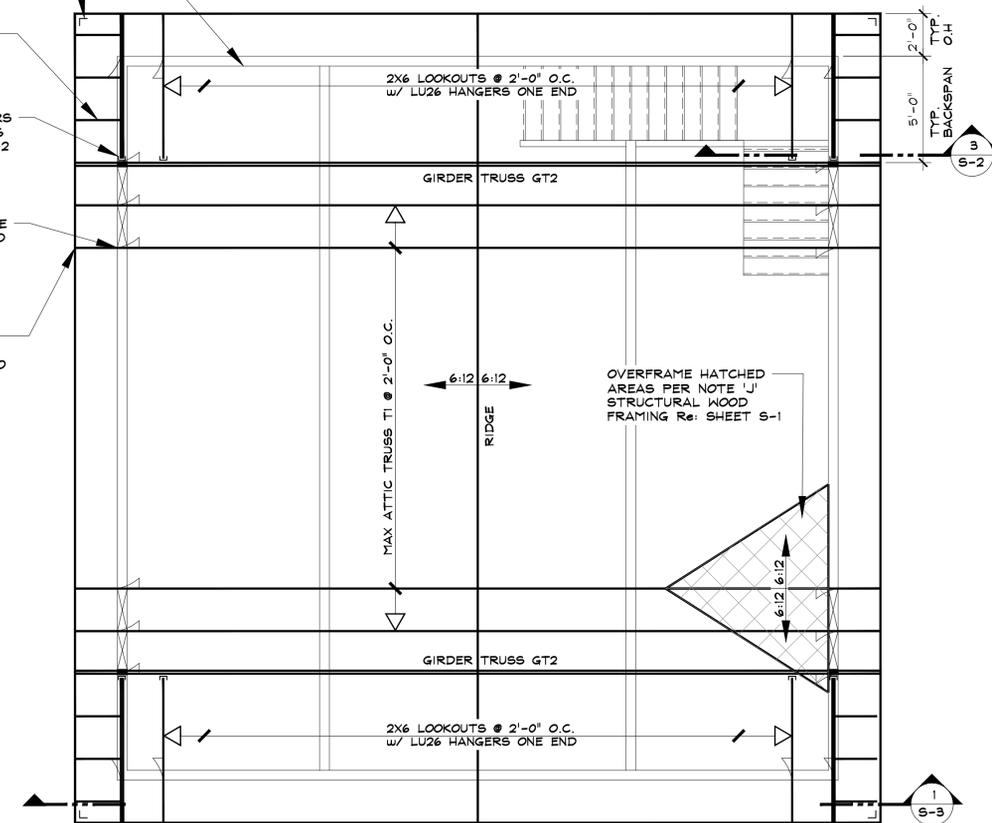
TYPICAL - PROVIDE L950 CLIPS @ CORNERS

TYPICAL - INFILL w/ 2X's @ 24" O.C.

TYPICAL @ CORNERS - PROVIDE (2) 2X6 LOOKOUT w/ LU26-2 HANGER

TYPICAL - PROVIDE H2.5 CLIPS EA. END OF TRUSSES

TYPICAL - 2X6 SUBFASCIA w/ (3) 16D END NAILS INTO TRUSS ENDS & LOOKOUTS



1 ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

TYPICAL - 3/8" APA RATED EXPOSURE 1 40/20 SHEATHING
 TYPICAL - ELEVATION @ TOP OF BEAMS INDICATED THUS: (ELEV.)
 TYPICAL HEADER THIS PLAN - (3) 2X10's, w/ (1) TRIMMER & (1) KING STUD EA. END, U.N.O.
 Re: 4/5-3 FOR MANUFACTURED TRUSS SCHEMATICS

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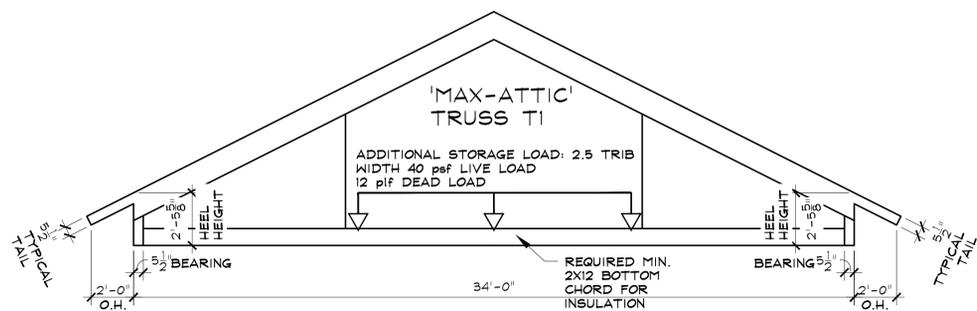
REVIEW SET
 4 . 9 . 20
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 5 . 4 . 20

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 REVIEWED BY: JEM
 PROJECT # 20003

ROOF & LOFT FRAMING PLAN AND SECTION

S-2

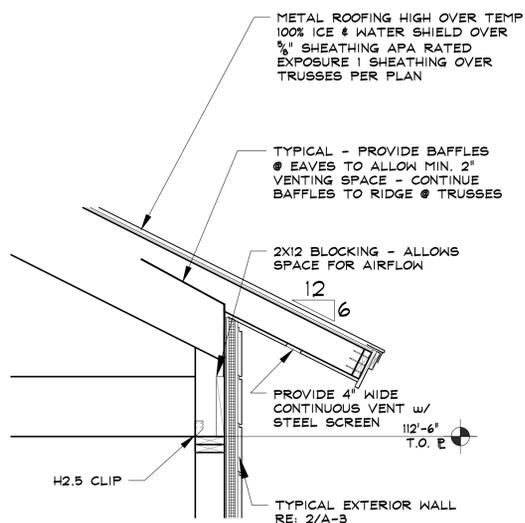
SHEET 7 of 8



4 MANUFACTURED TRUSS SCHEMATICS

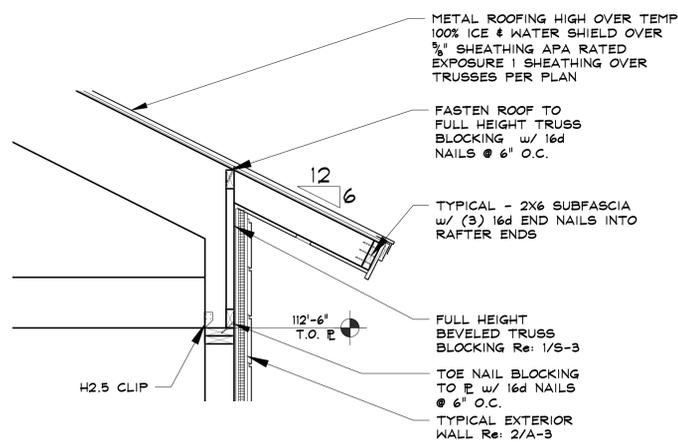
83 PSF SNOW LOAD, U.N.O.
20 PSF DEAD LOAD, U.N.O.
TRIBUTARY WIDTH = 2'-0"

SCALE: 1/4" = 1'-0"



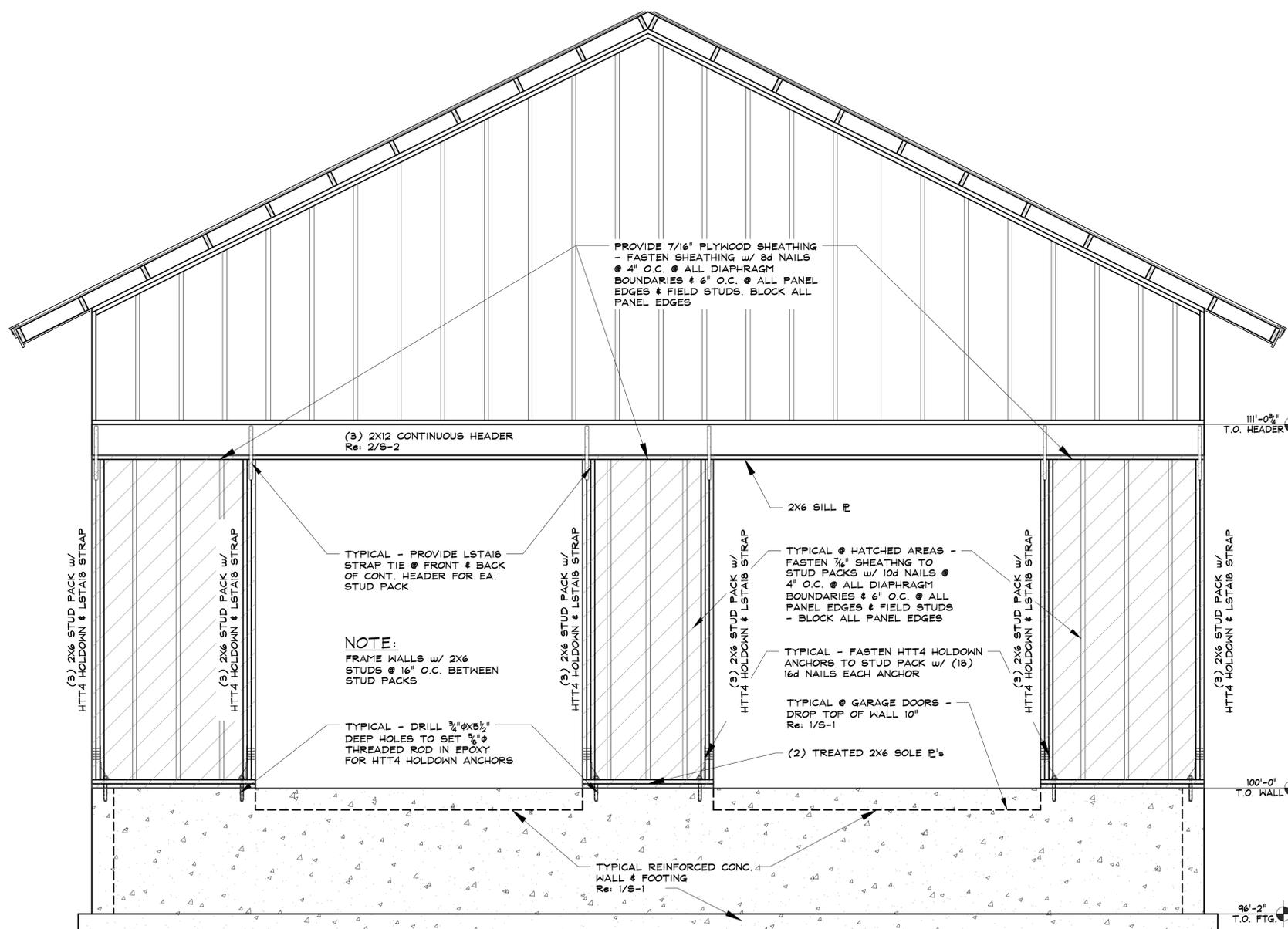
3 TYPICAL TRUSS SECTION

SCALE: 3/4" = 1'-0"



2 TRUSS w/ DIAPHRAGM BLOCKING

SCALE: 3/4" = 1'-0"



1 GARAGE PORTAL FRAMING SECTION / ELEVATION

SCALE: 1/2" = 1'-0"

NOT FOR CONSTRUCTION

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NISSEN GARAGE
33425 COUNTY ROAD 33
STEAMBOAT SPRINGS, COLORADO
A GARAGE FOR:
JEFF NISSEN

ISSUE DATES

REVIEW SET
4 . 9 . 20
VARIANCE
5 . 4 . 20

DRAWN BY: SMS
REVIEWED BY: JEM
PROJECT # 20003

PORTAL FRAME,
ROOF SECTIONS &
TRUSS SCHEMATICS

S-3

SHEET 8 of 8











