

ROUTT COUNTY BOARD OF ADJUSTMENT AGENDA

**October 12, 2020
6:00 PM**

Due to the COVID-19 pandemic, this hearing will be conducted through the Zoom application. You may access this meeting by clicking [here](#).

Live audio is available by calling (669) 900-6833.

Meeting ID: 858 7213 6030

Password: 599173

1. CALL TO ORDER

2. ITEMS FOR CONSIDERATION

A. Timmerman Setback Variance

Activity #:	PL-20-159
Applicant:	Chris Timmerman; Representative Ryan Malone of SEAD
Petition:	Request to construct a deck within the property setback
Legal:	Lot 1, Steamboat Pines Subdivision, Filing 1
Location:	30720 Elk Lane

Documents:

[Timmerman Variance Staff Report PL-20-159.pdf](#)

3. ADMINISTRATOR'S REPORT

Administrator's Report may include the reading of future Board of Adjustments agendas.

4. ADJOURNMENT

Agenda packets can be accessed at www.co.routt.co.us/AgendaCenter.

All programs, services and activities of Routt County are operated in compliance with the Americans with Disabilities Act. If you need a special accommodation as a result of a disability, please call the Commissioners' Office at (970) 879-0108 to assure that we can meet your needs. Please notify us of your request as soon as possible prior to the scheduled event. Routt County uses the Relay Colorado service. Dial 711 or TDD (970) 870-5444.

Timmerman Setback

Variance

ACTIVITY #: PL-20-159
BOARD OF ADJUSTMENT HEARING DATE: October 12, 2020 at 6:00 pm

PETITIONER: Chris Timmerman
PETITION: Request to construct a deck in the setback
LEGAL: Lot 1, Steamboat Pines Subdivision Filing 1
LOCATION: 30720 Elk Lane
ZONE DISTRICT: Mountain Residential Estates (MRE)
AREA OF PARCEL: 5.01 acres
PROPOSED (HEIGHT OR SETBACK) VARIANCE: Required: 50'
Proposed: 34'
STAFF CONTACT: Tegan Ebbert tebbert@co.routt.co.us
ATTACHMENTS:

- Application
- Site and building plans
- Slope images from Routt County GIS
- Site visit photos

History:

The subject property is a 5.01-acre parcel that is part of the Steamboat Pines Subdivision, Filing 1 that was recorded in 1971. The existing house on the property was constructed in 1998. There is evidence that a building permit was reviewed by the Planning Department and was granted, however, the house was constructed within the 50' setback on the southwest side of the property. Building and site plans were not retained by the Building Department from this era so there is no way to determine if the location was erroneously approved by Planning or if the house was built in a location that differed from the approved site plan. There is no evidence that a variance has been previously requested or granted on this parcel.

The current owners purchased the property in 2011. They are in the process of constructing a small addition to the dwelling unit in a location that conforms with setbacks.

Site Description:

The 5.01-acre parcel is accessed off of Elk Lane and is fairly uniform in shape. The lot is heavily treed and contains no other structures aside from the dwelling unit. The lot is severely sloped

down to the north and east. The driveway and dwelling unit are on a more gently sloped area that appears to have been subject to grading and excavating to create appropriate topography for the construction of the dwelling. The dwelling is perched on a hill with open views northeast towards Mount Werner. The southeast portion of the parcel is inaccessible by vehicle due to the topography of the parcel.

Project Description:

This variance application has two components:

The first component is a request for variance to bring the existing dwelling unit that was constructed in 1998 into conformance.

The second component is a request for a variance to construct a deck attached to the northwest side of the dwelling unit. The proposed location of the deck encroaches into the setback, but does not increase the overall degree of encroachment that exists due to the location of the house.

Setbacks for MRE District

Property Line Setback	Proposed	Required	Variance
South:	34'	50'	16'

Section 3.4.6 – Standards for Grant or Denial of Variances

- B. Under no circumstances shall a variance be granted on the sole basis of personal convenience, profit or special privilege to the applicant.
- C. Under no circumstance shall the BOA grant a variance to allow a use not permissible under the terms of this Resolution in the appropriate Zone District.
- D. Variances shall be granted with respect to specific plans or within defined parameters. Unless otherwise specified by the BOA, a variance may be transferred to successive owners prior to construction if no changes are made to the approved plan. Variances shall run with the land after the construction of any authorized structures and only for the life of such structures.
- E. The BOA may condition the granting of a variance on the issuance of a building permit within a specific time period and may require the applicant to pursue completion of the construction with due diligence. If such conditions are not satisfied, the variance shall become null and void.
- F. In order to insure that the protection of the public good and the intent and purpose of these Regulations are preserved, the BOA may impose any other condition upon the granting of a variance, including those categories of conditions which may be placed upon Land Use Approvals under Section 3.2.6.

Applicable Regulations – Routt County Zoning Resolution

3.4.6 The Board may grant such variance if all of the following are found to exist:

- 3.4.6.A.1 Peculiar and exceptional practical difficulties or an unnecessary and unreasonable hardship will be imposed on the property owner if the provisions of this Resolution are strictly enforced.

Petitioner Comments: Should the provisions of the Zoning Regulations in Section 3.4.6.A of the Routt County Building Code be strictly enforced, the property owner would endure unreasonable hardship as an addition to the home would not be permitted to be built in the most sensible location. The northwest side of the home, where the proposed addition is to be placed, faces out towards downtown Steamboat Springs and the ski area, and is also the only location on the current residence that does not have a deck built around at the main level of the house; which alleviates the property owners having to deconstruct existing deck structure to move the location of the addition. Current mature tree growth is present along the Northeast portion of residence, with the least amount of mature tree growth present at the proposed location of additions. The proposed deck addition of the Southwest portion of the proposed addition, which is in the current setbacks, allows for all of the current wrap around decks to connect on the residence and allows for ease of access through these exterior spaces. Therefore, a deck addition connecting to the existing wrap around deck on the Southwest side of the proposed addition would have the most functionality when compared to other locations. Only the Southwest and Southeast side and of the house are visible from Elk Lane. The proposed addition would unify the wrap around deck look, creating a more desirable look from the street and helping to clean up the look of the neighborhood.

Staff Comments: An unnecessary and unreasonable hardship would be imposed on the property owner if the provisions of the Zoning Regulations were strictly enforced due to the slope of the parcel that influenced the existing location of the dwelling unit. The topography would have made it difficult, if not impossible, to construct the dwelling further to the north, and remain in compliance with the maximum structure height of 40'. The area on the parcel that is flat or gently sloped and accessible from Elk Lane is located adjacent to the dwelling, to the south within the setback.

3.4.6.A.2 Circumstances creating the hardship were in existence on the effective date of the regulations from which a variance is requested, or created subsequently through no fault of the appellant.

Petitioner Comments: The Zoning Regulations in Section 3.4.6.A were adopted March 7th, 1972. The Routt County Property Report Card identifies the structure as being purchased on January 5th, 2011 by the current owners and has an Effective Built Date of 1998. Therefore, the house and attached deck locations, which extend into the property setback, were in existence prior to purchase date of the property, at no fault of the current property owners.

Staff Comments: The subdivision was platted in 1971, and therefore it is not subject to review under the current Routt County Subdivision Regulations. Current regulations state that land of 30% or greater slope is considered a “no build zone” and must be platted as such. Much of this property contains severely sloped land that by today’s standards would be unbuildable. The slope undoubtedly influenced the location of the existing dwelling and, by default, any additions that the current property owner would like to put onto it.

3.4.6.A.3 That the property for which a variance is requested possesses exceptional narrowness, shallowness, shape or topography or other extraordinary and exceptional situation or condition which does not occur generally in other property in the same Zone District.

Petitioner Comments: The property is zoned as Mountain Residential Estates (MRE) and while its shape is not abnormal for the area, the house location on the property is. Neighboring properties have houses placed closer to the center of the property, away from setbacks, avoiding the difficulty imposed on the Timmerman property

Staff Comments: Although this parcel does not possess exceptional narrowness, shallowness, or size, it does possess exceptional topography. As previously noted, the

parcel contains large areas of 30% slope or greater that prohibit access to other areas of the property with a more gentle slope. The area accessible from Elk Lane with slopes suitable for development is located within the south setback.

3.4.6.A.4 That the variance, if granted, will not diminish the value, use or enjoyment of the adjacent properties, nor curtail desirable light, air and open space in the neighborhood, nor change the character of the neighborhood.

Petitioner Comments: The proposed deck addition will not protrude further into the setbacks than what is present now and will only connect to the existing wrap around decks. The wrap around decks on the residence will get a more uniform and consistent look with the proposed deck being able to connect to them. The proposed new deck addition and addition to the current residence will not diminish the value of adjacent properties nor will it change the character of the neighborhood.

Staff Comments: During the site visit, staff found the dwelling to be not visible from the roadway and staff was unable to see the adjacent homes from the proposed deck addition location. It is feasible that the dwelling is visible in the winter and spring when the aspen trees are bare of leaves. The deck addition being proposed will match the existing decks attached to the house and will be approximately 230 square feet in area with approximately 1/3^d of it encroaching into the setback. The proposed deck will appear to be on grade from anyone viewing the structure from Elk Lane. No comments were received from adjacent property owners.

3.4.6.A.5 The variance, if granted, will not be directly contrary to the intent and purpose of this Resolution or the Routt County Master Plan.

Petitioner Comments: The variance requested is not contrary to the intent and purpose of the Zoning Regulations or the Routt County Master Plan.

Staff Comments: Although the Routt County Master Plan does not directly address Variance requests, staff do not believe that this application is contrary to its intent. The proposal will not increase residential density and the requested deck addition is an appropriate proposal for a residential parcel.

Board of Adjustment Options:

Approve the variance if the above noted tests are met.

Approve conditionally if the above noted tests are met or can be met by the application of certain conditions, or if certain conditions are necessary to mitigate concerns.

Table for specific reasons; e.g. more information, site review, etc.

Deny the variance if it does not meet the criteria stated above or if the variance would create a health or safety hazard or would negatively impact public welfare.

STAFF RECOMMENDATION

Staff recommends **approving** the variance for the existing location of the dwelling unit and the proposed new deck addition with conditions of approval, based on the following findings of fact.

FINDINGS OF FACT that may be appropriate if the **Variance** is **APPROVED**:

1. Peculiar and exceptional practical difficulties or an unnecessary and unreasonable hardship will be imposed on the property owner if the provisions of this Resolution are strictly enforced because of the severe topography and slope of the site and the location of the existing dwelling unit.
2. Circumstances creating the hardship were created subsequently through no fault of the appellant because the present nonconformity was created in the early to mid 1970s.
3. The property for which a variance is requested possesses an extraordinary and exceptional situation or condition which does not occur generally in other property in the same Zone District in that the site has a physical constraint limiting the building envelope. This physical constraint is the slope of the parcel.
4. The variance, if granted, will not diminish the value, use or enjoyment of the adjacent properties, nor curtail desirable light, air and open space in the neighborhood, nor change the character of the neighborhood because the configuration and size of the structure is generally in conformity with the adjacent properties and neighborhood.
5. The variance is not directly contrary to the intent and purpose of this Resolution or the Routt County Master Plan as there are no apparent conflicts with RCZR standards or RCMP policies.

CONDITIONS that may be appropriate include the following:

1. The building shall comply with all applicable requirements of the Routt County Building Department.
2. If construction of the building does not commence within 1 year, this variance shall be subject to another review with full submittal. A 12 month extension may be approved administratively without notice.
3. This approval is specific to the plans submitted in the application. Any change in footprint, size, height or site location that increases the level on non-conformance will be subject to a new application. Minor variations that do not increase the level of non-conformance can be approved administratively, without notice.
4. Best Management Practices (BMP's) shall be utilized during construction to prevent erosion and drainage flow onto adjacent properties, drainage to the east of the parcel and the county road right of way.
5. A Grading and Excavation Permit will be required if necessary.
6. All exterior lighting will be downcast and opaquely shielded.
7. Revegetation of disturbed areas shall occur within one growing season with a seed mix which avoids the use of aggressive grasses. See the Colorado State University Extension Office for appropriate grass seed mixes.



Steamboat Engineering And Design, Inc.

August 11th, 2020

Variance Application Narrative

<p>Contact Information: Ryan Malone On Behalf of: Chris Timmerman Via phone: 970.871.9101 Via e-mail: ryan@seadinc.com</p>	<p>Project Details: The Timmerman Residence Parcel ID: 161500001 30720 Elk Lane, Steamboat Springs, CO 80487 SEAD Job Number: 19127</p>
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Written Narrative – Description of Variance Request

Property Description

The Timmerman property is a rectangular-shaped plot located off the north side of Elk Lane in Steamboat Springs, Colorado. The North property line, running nearly East-West, is approximately 800 feet long. The East property line, running nearly North-South is approximately 160 feet long. The Southeast property line, running Northeast is approximately 642 feet long. The South property line is arced along Elk Lane and is approximately 180 feet long. The West property line which is parallel with the East property line is approximately 290 feet long. The total property area is 5.01 acres or 218,236 square feet. The currently constructed residence and southwest facing deck protrudes at a max of 15 feet 2 inches into the county required 50-foot setback from the property line. Please refer to the attached Steamboat Engineering And Design (SEAD) drawings, sheet C-1. This condition existed prior to the Timmerman Family purchasing the property.

Relief Requested

The property owners would like to request a variance to the Routt County Zoning Regulations such that a deck addition, attached to a proposed addition, may be constructed to connect to the existing deck on the Southwest portion of the existing residence. The existing Southwest deck and structure currently extend 15 feet 2 inches into the required setback. This request amounts to no additional conflict with the property setback for new living space and no additional conflict with the existing constructed deck.

Reason for the Request

The existing residence and deck on the Southwest portion of the residence extend into the property setbacks, a condition which was present prior to the current homeowners purchasing the property. The proposed addition, is most sensible to be placed in the proposed location on the Northwest side of the existing residence. The proposed deck on the South side of the addition will be used to connect to the existing deck. This poses no issues protruding into the required setbacks, however; allowing the proposed deck to extend into the required setbacks to connect to the existing decks allows for the most reasonable design for the addition.

Written Narrative – Routt County Zoning Regulations Section 3.4.6.A Standards

Peculiar and Exceptional Difficulties

Should the provisions of the Zoning Regulations in Section 3.4.6.A of the Routt County Building Code be strictly enforced, the property owner would endure unreasonable hardship as an addition to the home would not be permitted to be built in the most sensible location. The Northwest side of the home, where the proposed addition

is to be placed, faces out towards downtown Steamboat Springs and the ski area, and is also the only location on the current residence that does not have a deck built around at the main level of the house; which alleviates the property owners having to deconstruct existing deck structure to move the location of the addition. Current mature tree growth is present along the Northeast portion of residence, with the least amount of mature tree growth present at the proposed location of additions. The proposed deck addition of the Southwest portion of the proposed addition, which is in the current setbacks, allows for all of the current wrap around decks to connect on the residence and allows for ease of access through these exterior spaces. Therefore, a deck addition connecting to the existing wrap around deck on the Southwest side of the proposed addition would have the most functionality when compared to other locations. Only the Southwest and Southeast side and of the house are visible from Elk Lane. The proposed addition would unify the wrap around deck look, creating a more desirable look from the street and helping to clean up the look of the neighborhood.

Circumstances Creating Hardship Already in Existence

The Zoning Regulations in Section 3.4.6.A were adopted March 7th, 1972. The Routt County Property Report Card identifies the structure as being purchased on January 5th, 2011 by the current owners and has an Effective Built Date of 1998. Therefore, the house and attached deck locations, which extend into the property setback, were in existence prior to purchase date of the property, at no fault of the current property owners.

Property Geometry – Narrowness and Shape

The property is zoned as Mountain Residential Estates (MRE) and while its shape is not abnormal for the area, the house location on the property is. Neighboring properties have houses placed closer to the center of the property, away from setbacks, avoiding the difficulty imposed on the Timmerman property.

Variance Will Not Diminish Value

The proposed deck addition will not protrude further into the setbacks than what is present now and will only connect to the existing wrap around decks. The wrap around decks on the residence will get a more uniform and consistent look with the proposed deck being able to connect to them. The proposed new deck addition and addition to the current residence will not diminish the value of adjacent properties nor will it change the character of the neighborhood.

Zoning Regulation Intent and Routt County Master Plan

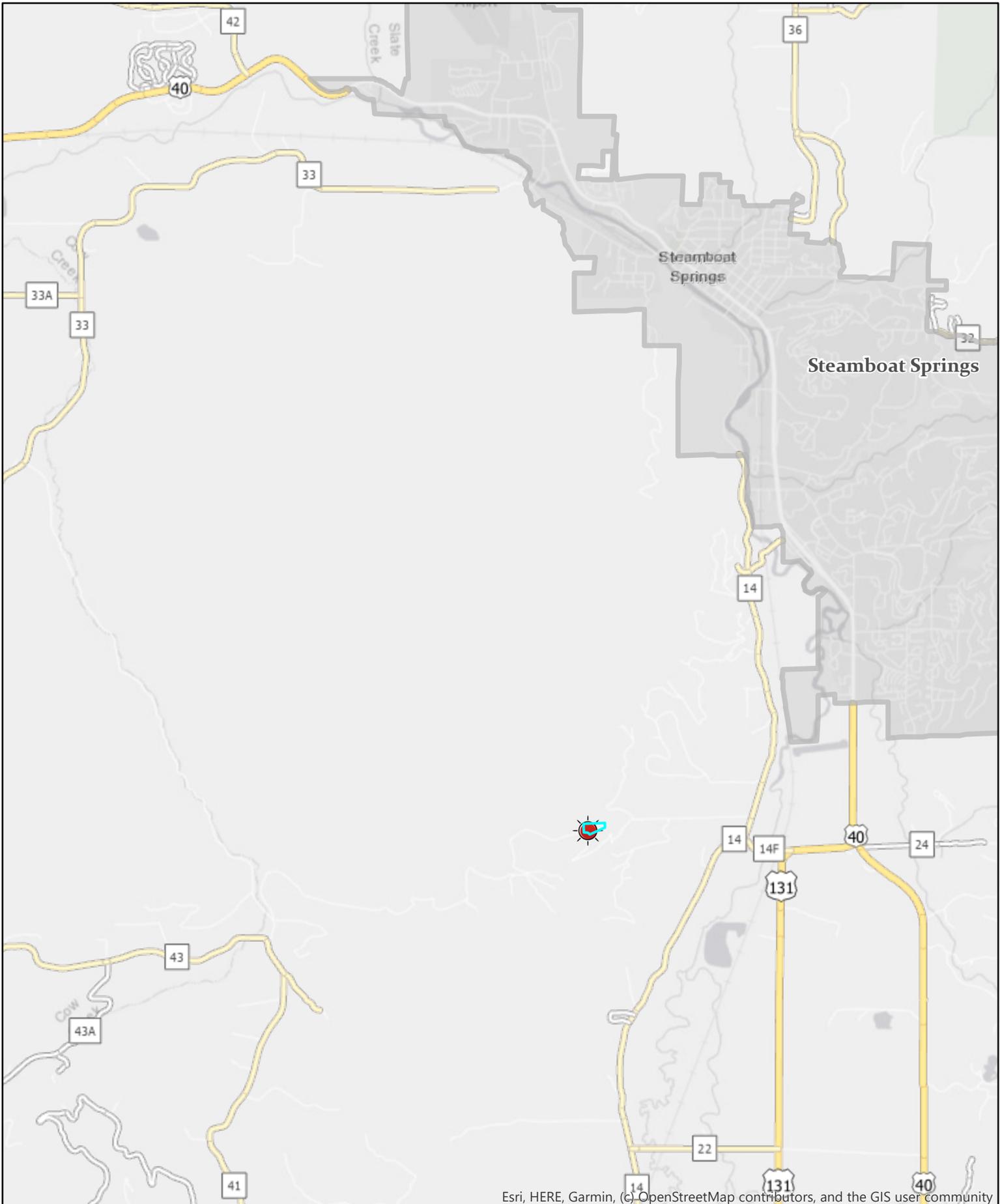
The variance requested is not contrary to the intent and purpose of the Zoning Regulations or the Routt County Master Plan.

Please do not hesitate to reach out with any questions regarding this document.

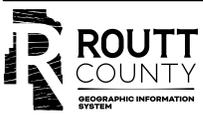
Sincerely,

Steamboat Engineering And Design, Inc.
Ryan Malone, EIT, Staff Engineer
ryan@seadinc.com

Reviewed by:
Jacob Mielke, PE, President
jake@seadinc.com
Colorado License No. 52418



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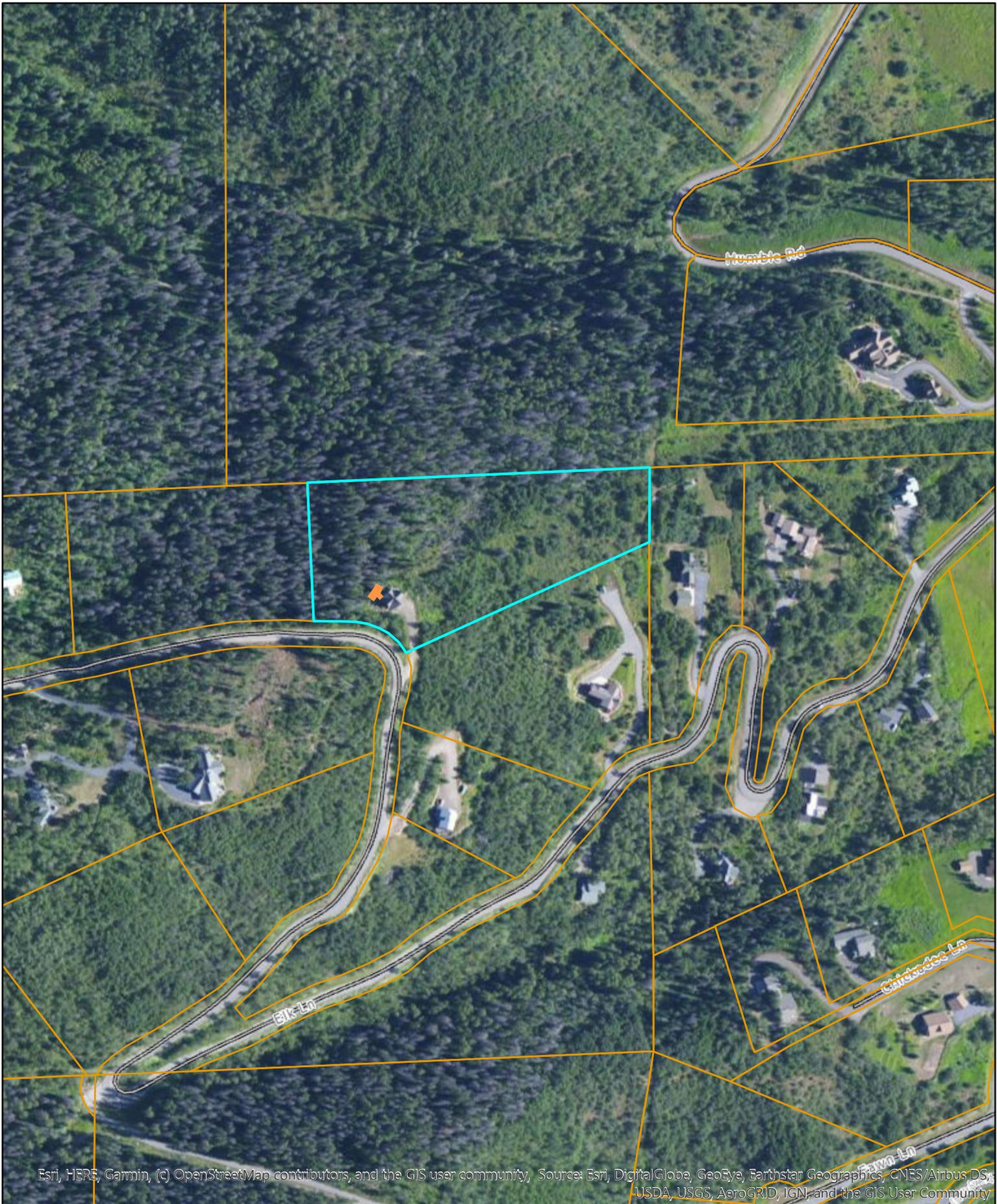


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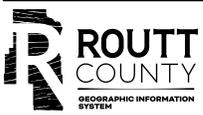
Planning



- Routt County Boundary
- Town Boundaries
- Highway
- Primary Public Road

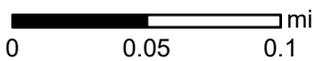


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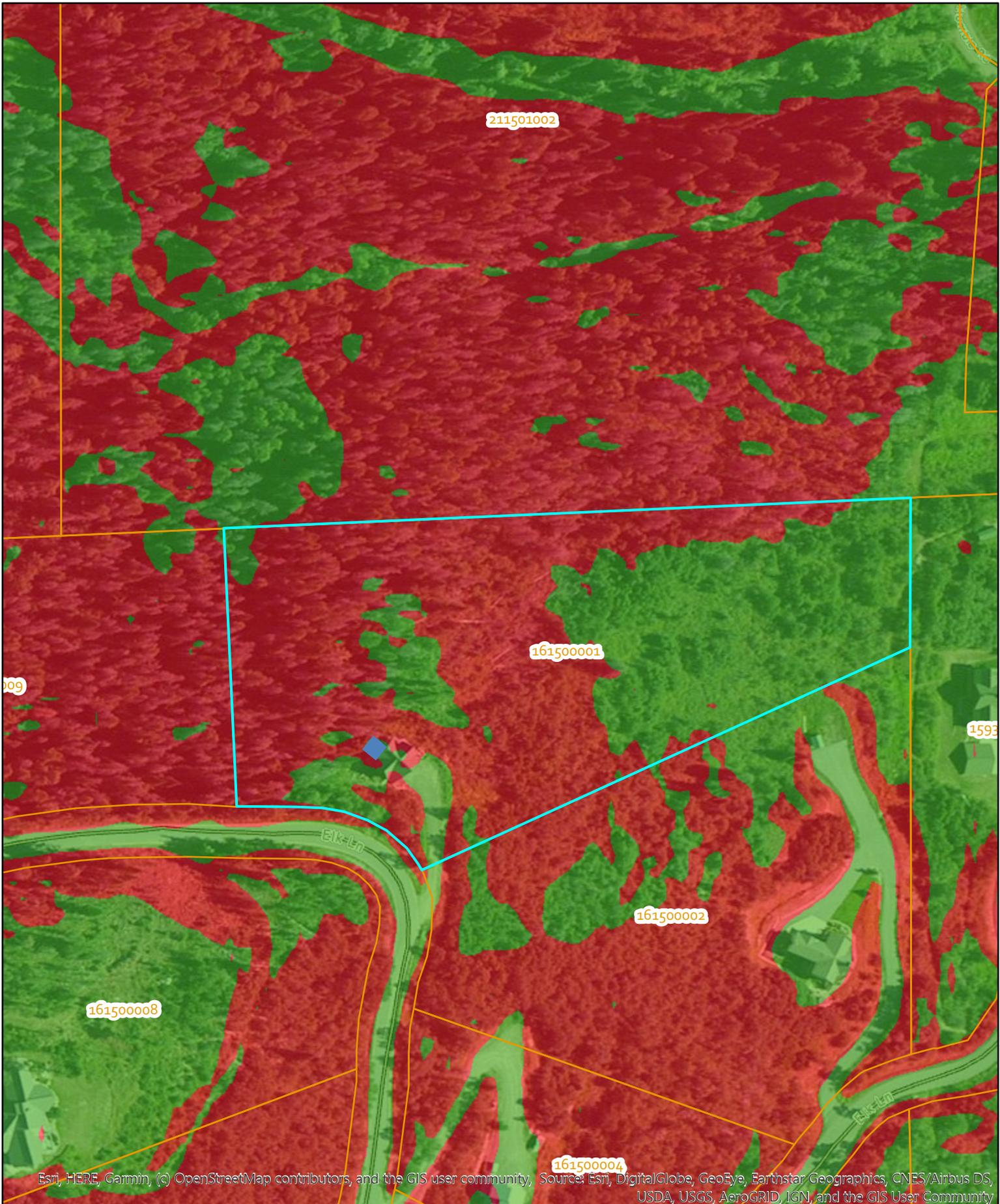
Planning



1:4,514



- Routt County Boundary
- Parcels
- Road Centerlines
- Private Private

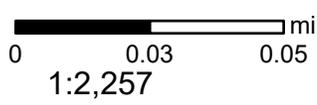


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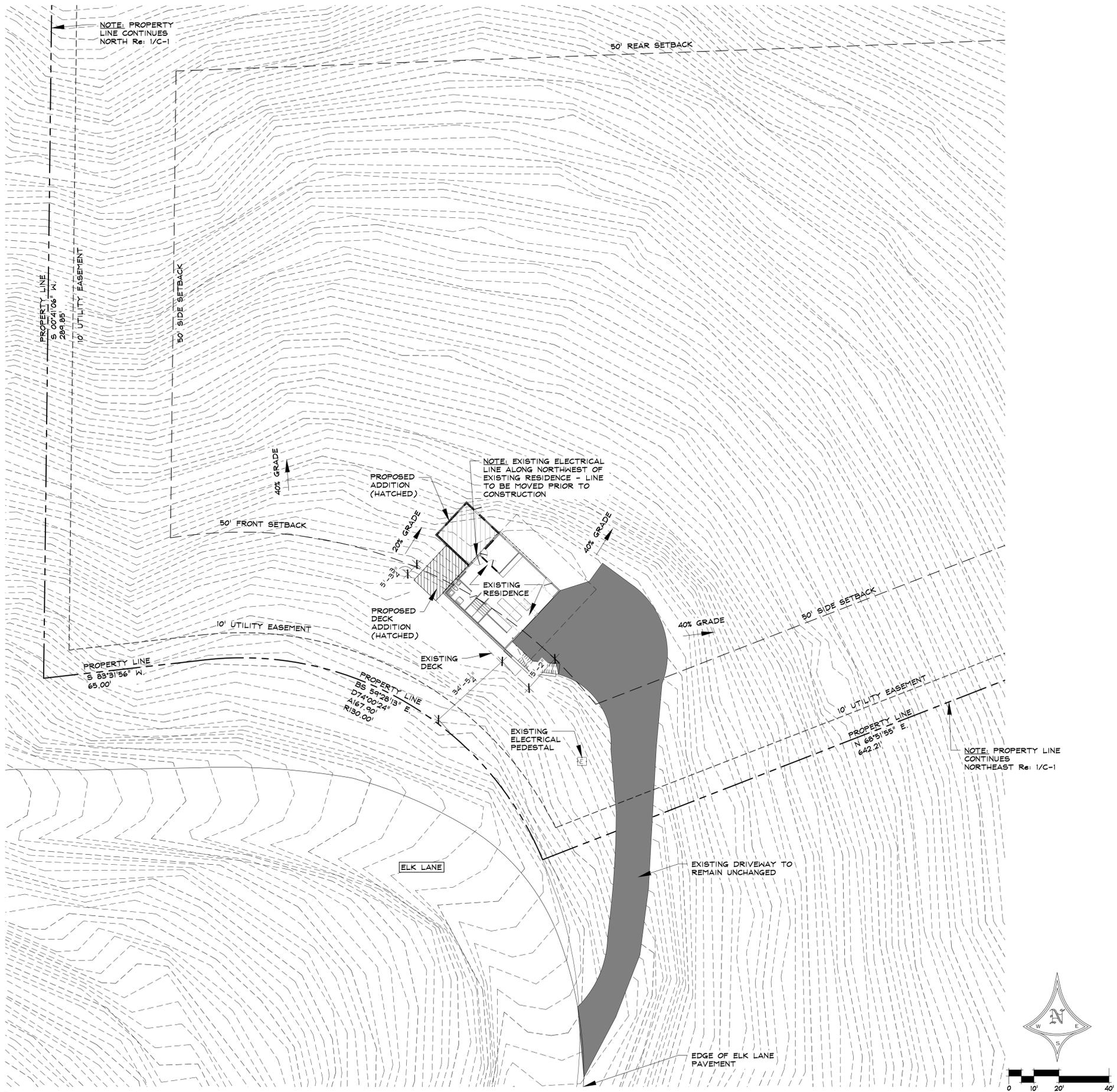
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Planning



- Routt County Boundary RGB
- Parcels

- Red: Band_1
- Green: Band_2
- Blue: Band_3



LEGAL DESCRIPTION
 LOT 1 STEAMBOAT PINES SUBDIVISION
 FILING 1

CODE STUDY
 Re: 2015 IBC, 2015 IEBC, CITY OF S.S. COMMUNITY DEVELOPMENT CODE

ZONING: MRE (MOUNTAIN RESIDENTIAL ESTATES)
 CONSTRUCTION TYPE: V-B
 OCCUPANCY CLASSIFICATION: GROUP R-3
 NO. STORIES: 2 w/ BASEMENT
 SIZE OF BUILDING: 3,299 SQ. FT. EXISTING
 648 SQ. FT. ADDITION
 SIZE OF LOT: 5.01 ACRES (218,236 SQ. FT.)

SETBACKS:
 FRONT: 50'-0" PRIMARY
 SIDE: 50'-0" PRIMARY
 REAR: 50'-0" PRIMARY

FLOOR AREA RATIO: NA FOR PRINCIPAL STRUCTURE
 LOT COVERAGE: = 1424 / 218,236 = .007, (NO MAX.)
 BUILDING HEIGHT: APH: 21'-0"+/-, (28' MAX. ALLOWED)
 OH: 35'-0"+/-, (40' MAX. ALLOWED)

NOT FOR
 CONSTRUCTION



TIMMERMAN ADDITION
 30720 ELK LANE
 STEAMBOAT SPRINGS, COLORADO
 AN ADDITION FOR:
 CHRIS TIMMERMAN

ISSUE DATES

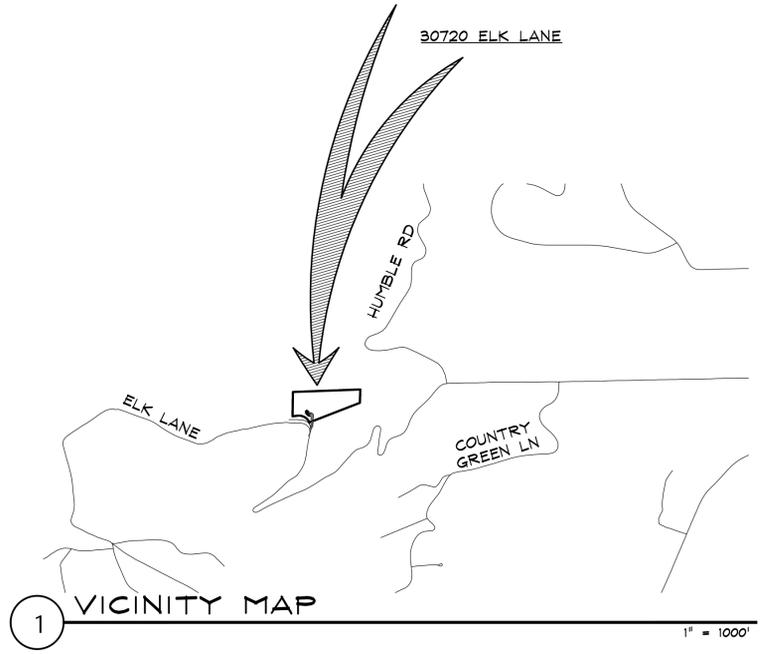
DESIGN DEVELOPMENT	12 . 11 . 19
	01 . 07 . 20
	02 . 03 . 20
	05 . 08 . 20
PRICING SET	06 . 10 . 20
VARIANCE SUBMITTAL	08 . 11 . 20

DRAWN BY: RPM
 REVIEWED BY: CMW
 PROJECT # 19127

SITE & UTILITY PLAN, VICINITY MAP & CODE STUDY

C-1

SHEET 2 of 9



2 SITE PLAN
 NOT A CERTIFIED PLAT - BASED ON SURVEY BY WHELAN LAND SURVEY DATED: 07.16.20
 DASHED CONTOUR LINES REPRESENT EXISTING ELEVATIONS @ 1 FT. INTERVALS
 SOLID CONTOUR LINES REPRESENT PROPOSED ELEVATIONS @ 1 FT. INTERVALS

SCALE: 1" = 20'-0"

1 VICINITY MAP
 1" = 1000'



NOT FOR
CONSTRUCTION

SEAD
 Steamboat Engineering And Design, Inc.
 2740 Acre Lane Suite E, Steamboat Springs, CO 80487
 Phone: 970 . 871 . 9101 Fax: 970 . 871 . 9089
 E-mail: Jake@seadinc.com

TIMMERMAN ADDITION
 30720 ELK LANE
 STEAMBOAT SPRINGS, COLORADO
 AN ADDITION FOR:
 CHRIS TIMMERMAN

ISSUE DATES

DESIGN DEVELOPMENT	12 . 11 . 19
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DRAWN BY: RPM
 REVIEWED BY: CNM
 PROJECT # 19127

COVER SHEET

A-O

SHEET 1 of 9

TIMMERMAN ADDITION

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ARCHITECTURAL NOTES

GENERAL

All work must comply with state and local codes, based on the Routt County Zoning Regulations, the 2015 International Building Code, the 2015 International Residential Code, the International Plumbing Code, the International Mechanical Code, the Energy Conservation Code and the International Electric Code. The contractor shall comply with all laws, ordinances, rules and regulations of any public authority bearing on the performance of the work, including O.S.H.A.

Location of the utilities (electrical, telephone, cable TV, gas, water, sewer) shall be verified before construction begins.

All on site construction safety and construction means and methods are the responsibility of the contractor. There is no implication of the construction safety requirements or building methods contained in these drawings.

Actual site conditions may require that some of the components of the work should be done differently than shown on these drawings. All dimensions and conditions to be verified by the contractor prior to construction. Verify changes with the designer and engineer.

These drawings represent a simplified builder's set of plans. Additional detailing may be required of the engineer during construction.

Any variation which requires a physical change from these plans must be brought to the attention of the designer and engineer in order to maintain the design intent of the project.

All work connected with this project by any trade involved shall be of the highest quality attainable in accordance with the professional practice of the trade.

DIMENSIONS

All interior and exterior dimensions are to face of stud or face of concrete, U.N.O.

All exterior walls are nominal 2x6 stud construction, U.N.O. All interior walls are nominal 2x4 stud construction, U.N.O.

Do not scale drawings.

The water closet stool shall be located in a clear space of not less than 30" in width. The clear space in front of the water closet stool shall be not less than 21".

Crawl space access shall be provided w/ min. 18"x24" through the floor & min. 16"x24" through the wall.

Minimum clear ceiling height is 7ft for habitable space & hallways & 6'-8" for bathrooms, laundry rooms & stairs. Exceptions apply for sloped ceilings and basements per R305

If any discrepancies are found in these drawings notify engineer and/or designer immediately.

WINDOWS

Habitable spaces within dwelling units shall have natural light provided by exterior openings equal to 8% of the floor area. Natural ventilation shall be provided by means of operable exterior openings equal to 4% of the floor area.

Laundry rooms, toilet rooms and bathrooms shall either have an operable window or be mechanically ventilated.

Safety glazing shall be provided in the following hazardous locations:

- 1) In doors where glazed opening is greater than 3'φ
- 2) Within 24" adjacent to doors if less than 60" above the walking surface
- 3) Single panes where all following conditions exist: greater than 9 sq.ft., less than 18" above the floor, top edge higher than 36" above the floor and within 36" horizontal distance of walking surface.
- 4) Glazing in guards and railings
- 5) Glazing containing wet surfaces of bathtubs, showers, pools, etc. if less than 60" to walking surface.
- 6) Adjacent to the bottom stair landing w/in 60" arc length if less than 36" above landing
- 7) Site-built Windows
- 8) Skylights and glazing sloped more than 15°

Sleeping rooms and basements w/ habitable space shall have min. one operable emergency escape w/ min 5.7 sq. ft. openable area, min. 20"x41" clear or min. 34"x24" clear & max 44" sill height. (R310.2)

STAIRWAYS:

Stairs shall have a minimum 36" clear width on interior stairs and 48" on exterior stairs. The surface of stairs shall be slip resistant. Minimum vertical headroom is 6'-8" from the nosing. Maximum riser height is 7 7/8", and minimum tread depth is 10".

Landings shall be provided at the top and bottom of each stairway with a length no less than the width of the stairway served. Landings are not required at the top of interior stairs provided that a door does not swing over the stairs.

Handrails shall be provided on at least one side of each continuous stair flight with four or more risers, and shall be 34"-38" tall, measured vertically from the sloped plane of the tread nosings. Handrails shall comply with R311.7.8.

Open sides of stairways, landings, ramps, balconies and porches which are more than 30" above grade shall be protected by a guardrail. All guardrails must be 36" above finished floor and shall allow no more than a 4" diameter sphere to pass through any portion of the railing per IRC R312.

Walls and ceilings of enclosed usable space under stairs requires 1/2" gypsum wallboard. The door to access such spaces need not be rated.

FIRE PROTECTION

Provide smoke detection per IRC section R314.

Opening between a private garage and residence shall be min. 1-3/8" thick, of solid wood, or solid honeycomb core steel doors or 20-min fire rated. Openings between garages and sleeping rooms prohibited. Habitable rooms located above garages shall be protected w/ min 5/8" Type X gypsum board

ROOF ASSEMBLIES (IRC CHAPTER 8 & 9)

Roof ventilation of enclosed roof assemblies shall comply with R806 and shall provide min. net free ventilating area of 1/300 of the area of the vented space. Provide 40%-50% of the ventilators no more than 3ft. below the highest point of the roof, and the remainder at the eave. All vents shall be protected against entrance of rain or snow and shall have openings between 1/8"- 1/4". Min. 1" air flow space shall be provided between the insulation and roof sheathing.

Unvented roof assemblies shall comply with R806.5 and shall be completely within the thermal envelope. The roof shall dry to the inside, thus Class I vapor retarder shall NOT be installed on the ceiling. If air-impermeable insulation is used, it shall be Class II vapor retarder, min. R-49, and be applied directly to the underside of sheathing. If air-permeable insulation is used in the cavity, it shall be min. R-19 applied to underside of sheathing & shall be accompanied by min. R-30 continuous rigid board insulation above the sheathing. Alternatively, R-30 air-impermeable insulation can be applied to the underside of sheathing, w/ min. R-19 air-permeable beneath.

Provide Grace 'Ice and water shield', or equivalent product, from the edge of roof overhangs to the ridge.

Asphalt shingles shall comply with R905.2 & require double underlayment when applied on 2:12 to 4:12 roof pitches. Standing seam metal roofing shall have min. 1/4:12 slope & comply w/ R905.10

Attic access shall be provided if attic is more than 30" tall (measured from top of ceiling framing to underside of roof framing members for more than 30 sq. ft. Access shall have a rough-framed opening of min. 22"x30" with min. 30" clear headroom.

CHIMNEYS & FIREPLACES (IRC CHAPTER 10)

Wood or other combustible materials shall not be placed within 2" from the front face and sides and not less than 4" from the back of masonry fireplaces

All masonry chimneys shall extend 2ft. higher than any portion of a building within 10' & min. 3ft. above the highest point where the chimney penetrates the roof.

MECHANICAL/ENERGY SYSTEMS:

Appliances located in garages and having an ignition source shall be elevated such that the source of ignition less than 18" above the floor.

Dryer exhaust systems shall be independent of all other systems, shall transport the moisture to the outdoors and shall terminate on the outside of the building in accordance with M1501 and M1502

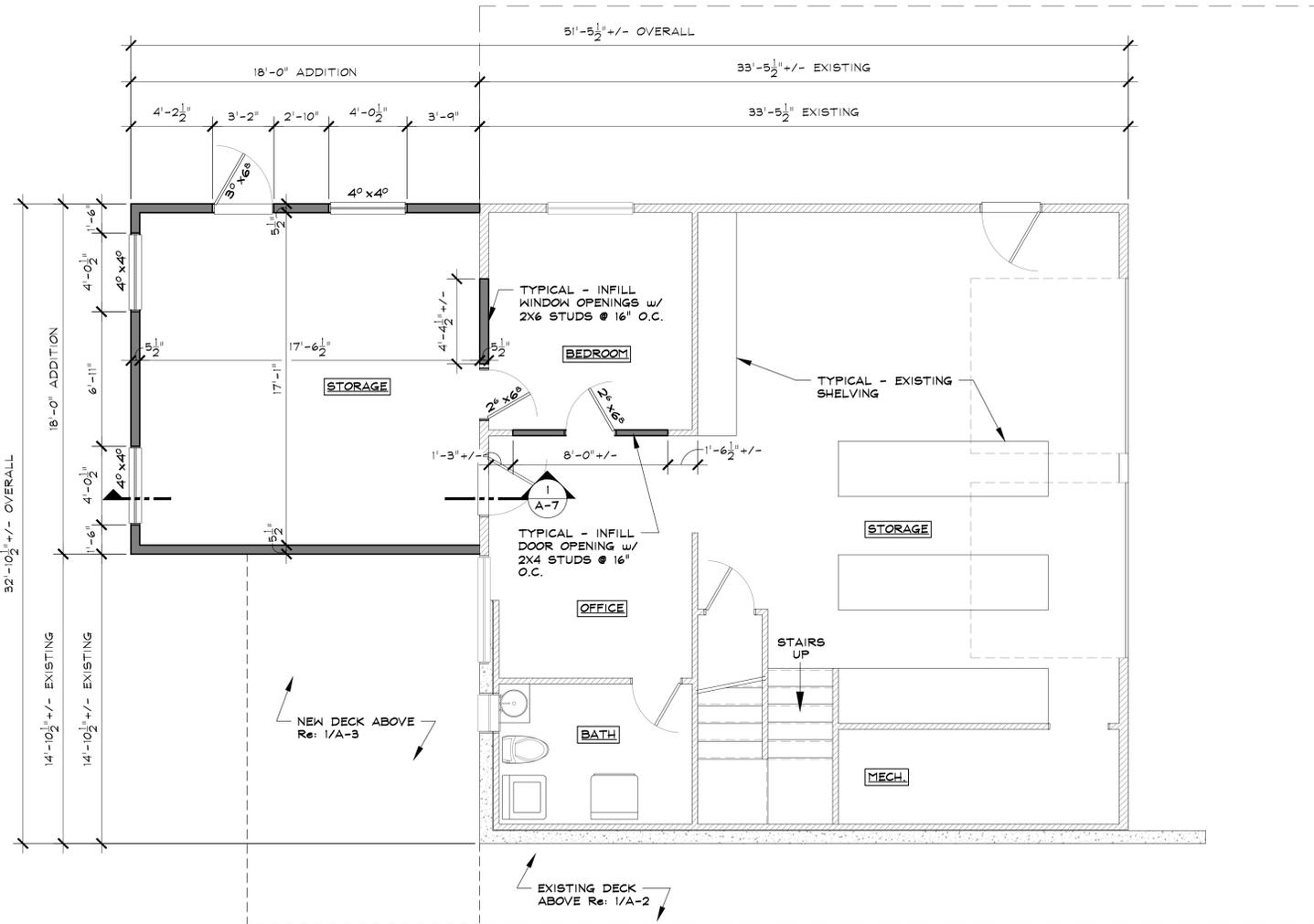
Heating and Cooling equipment appliances shall be installed per manufacturers instructions and in accordance with IRC, Chapter 14

Meter location must be approved by an Atmos Energy Corporation employee during a mandatory site visit to be scheduled after foundation is in place. Meters will not be allowed under a shedding roofline or where overhanging snow is a danger to the meter set

If located within city limits of Steamboat Springs, the building or dwelling unit shall be tested with a blower door test by a certified 3rd party and verified as having an air leakage rate not exceeding three air changes per hour as per R402.4.1.2 testing. A certificate of completion must be submitted to the Routt County Building Department prior to a TCO or CO being issued.

Provide whole-house mechanical ventilation in accordance with Section M1507.3 and mechanical ventilation system fans shall meet the efficacy requirements of Table R403.6.4

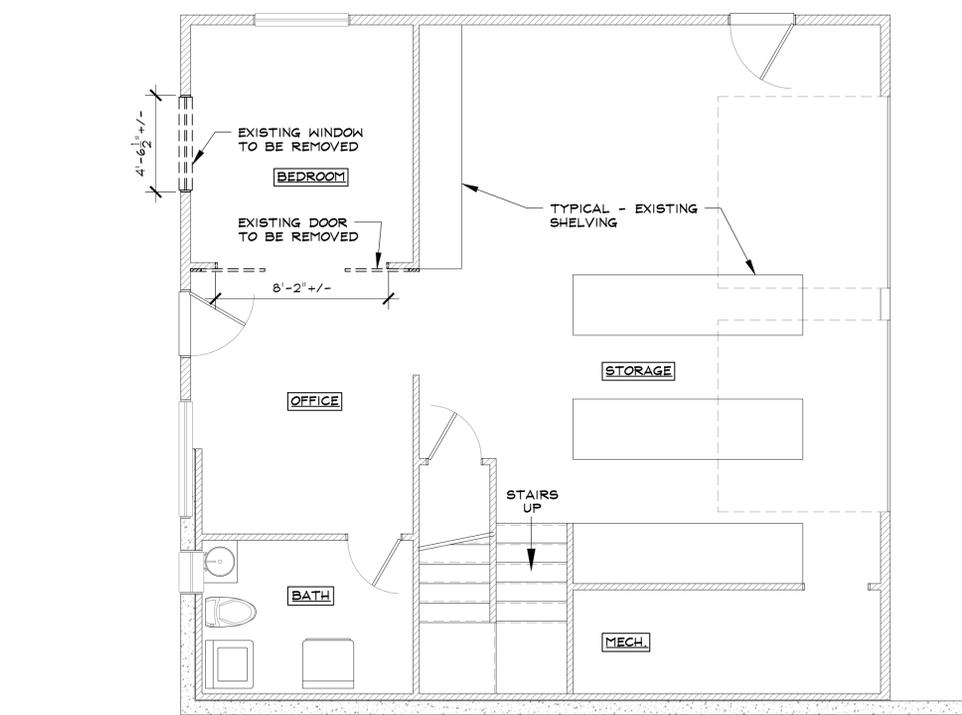
Heating load calculations and equipment sizing shall be submitted for review and approval when applying for a mechanical permit. Do not install or inspect mechanical equipment or HVAC until submitted to RCRBD and approved.



2 PROPOSED LOWER LEVEL FLOOR PLAN

324 SQ. FT. ADDITION (THIS PLAN)

SCALE: 1/4" = 1'-0"



1 LOWER LEVEL AS-BUILT/DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

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TIMMERMAN ADDITION
30720 ELK LANE
STEAMBOAT SPRINGS, COLORADO
AN ADDITION FOR:
CHRIS TIMMERMAN

ISSUE DATES	
DESIGN	
DEVELOPMENT	
12 . 11 . 19	
01 . 07 . 20	
03 . 03 . 20	
05 . 08 . 20	
PRICING SET	
06 . 10 . 20	
VARIANCE	
SUBMITTAL	
08 . 11 . 20	

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REVIEWED BY: CNM
PROJECT # 19127

LOWER LEVEL
FLOOR PLANS

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SHEET 3 of 9

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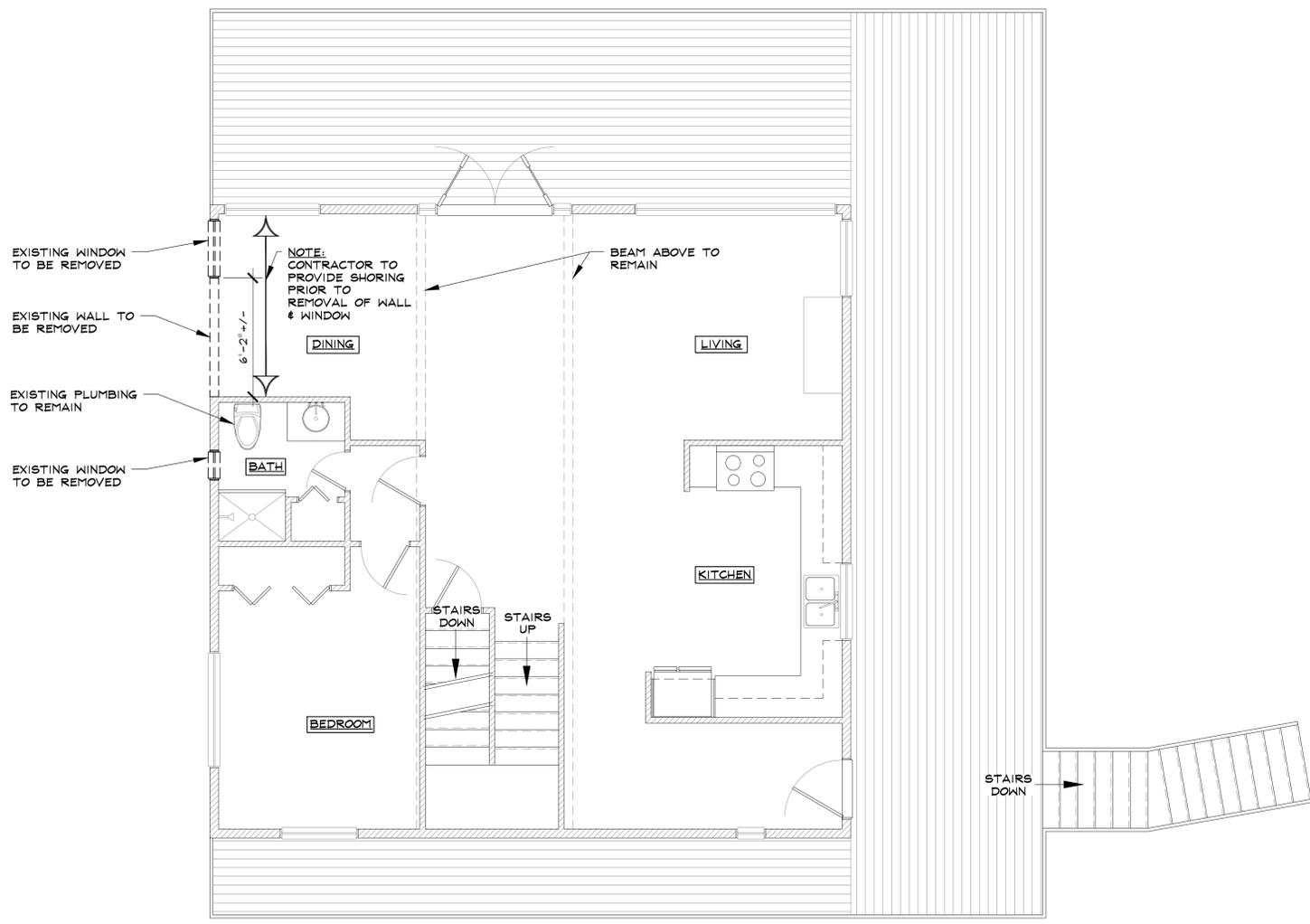
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REVIEWED BY: CWM
PROJECT # 19127

MAIN LEVEL
DEMO FLOOR
PLAN

A - 2

SHEET 4 of 9

WALL KEY	
	EXISTING WALLS TO REMAIN
	PROPOSED WOOD FRAMED WALLS
	EXISTING WALLS TO BE REMOVED



1 MAIN LEVEL AS-BUILT/DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

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TIMMERMAN ADDITION
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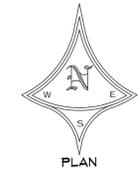
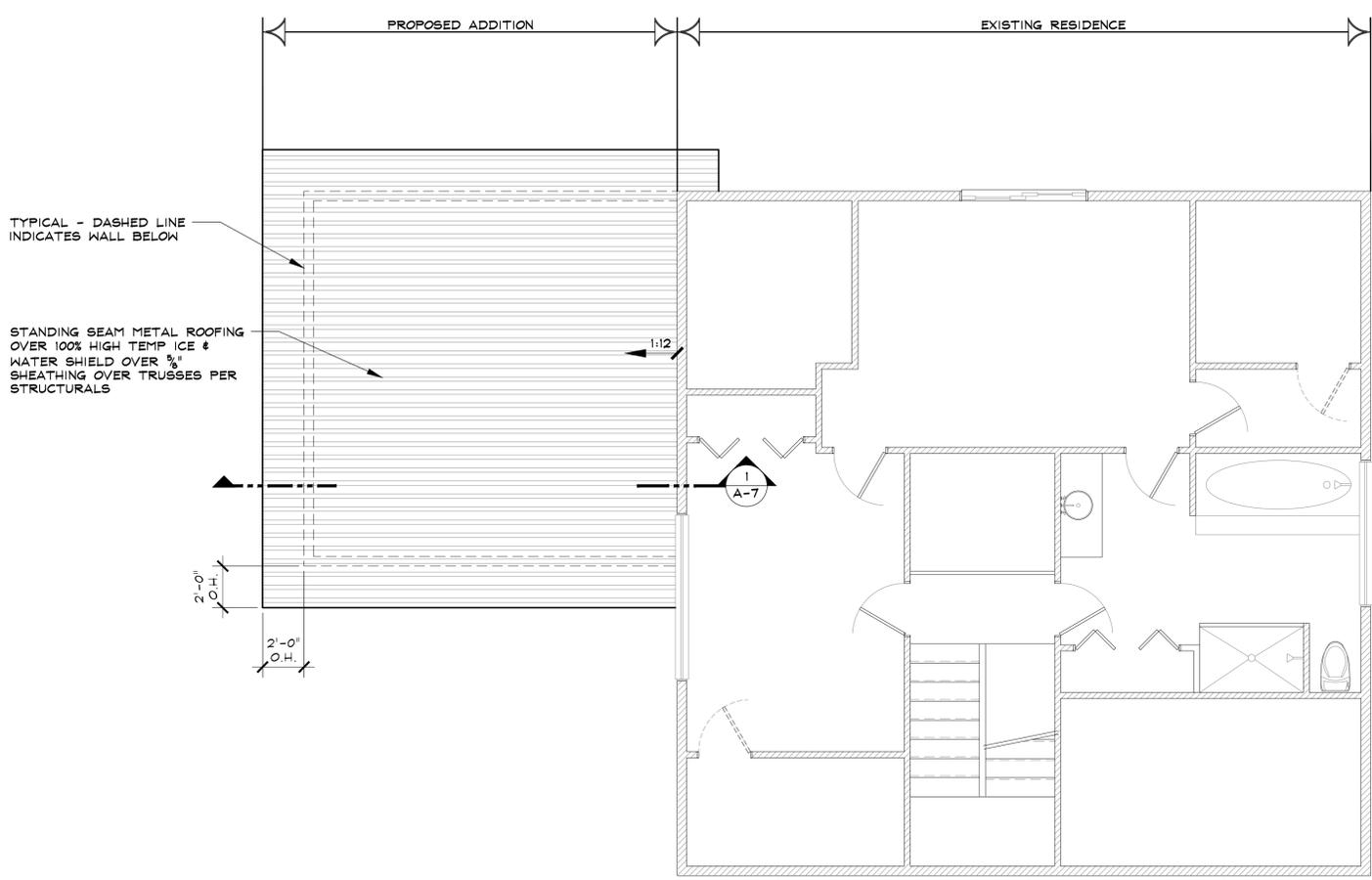
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PROJECT # 19127

PROPOSED ROOF PLAN

A - 4

SHEET 6 of 9



SCALE: 1/4" = 1'-0"

1 PROPOSED ROOF PLAN

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2 SOUTH ELEVATION
Re: 1/A-5 FOR TYPICAL NOTES

SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
NOTES THIS ELEVATION TYPICAL FINAL DOOR & WINDOW SIZES TO BE DETERMINED OWNER & CONTRACTOR

SCALE: 1/4" = 1'-0"

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TIMMERMAN ADDITION
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PRICING SET	06 . 10 . 20
VARIANCE SUBMITTAL	06 . 11 . 20

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NORTH & SOUTH ELEVATIONS

A-5

SHEET 7 of 9

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TIMMERMAN ADDITION

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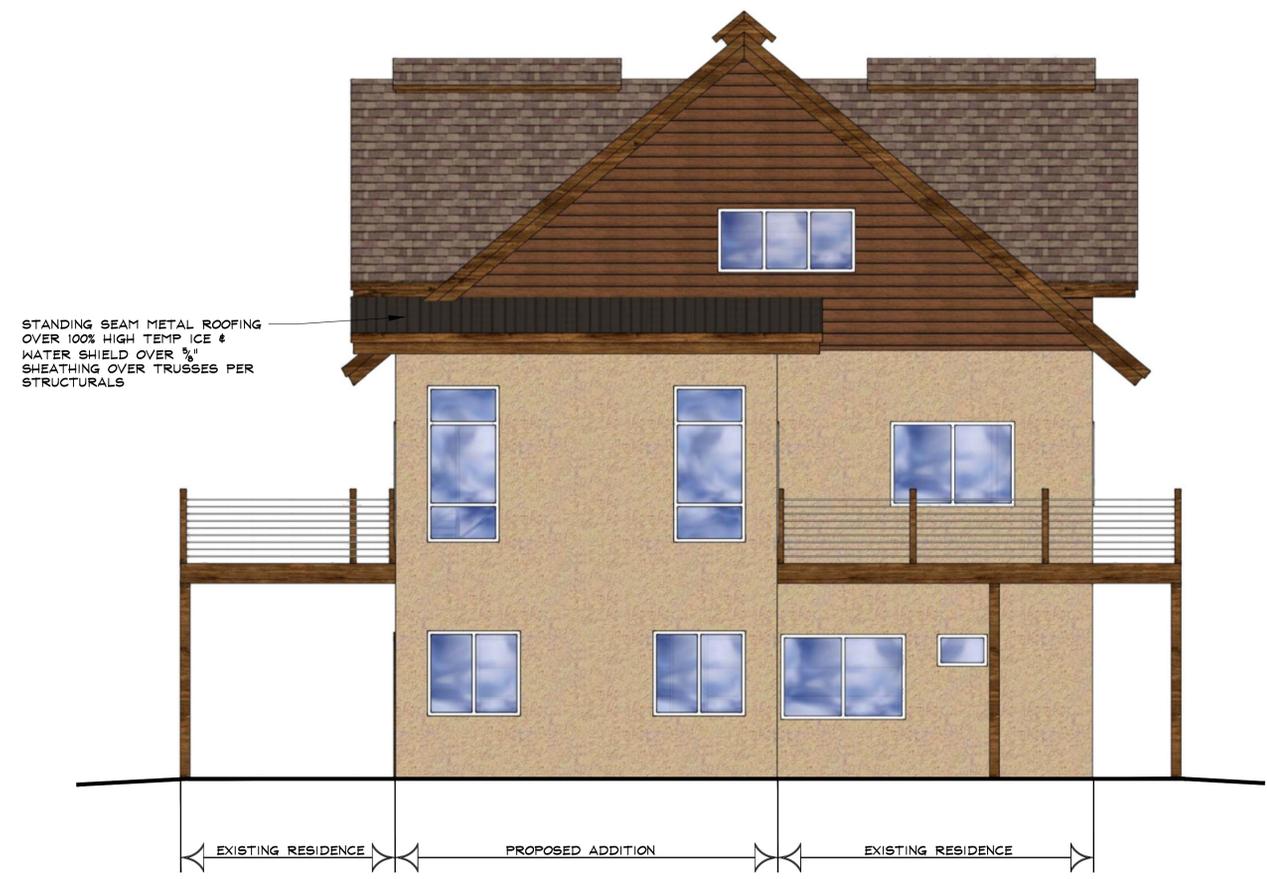
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WEST
ELEVATION

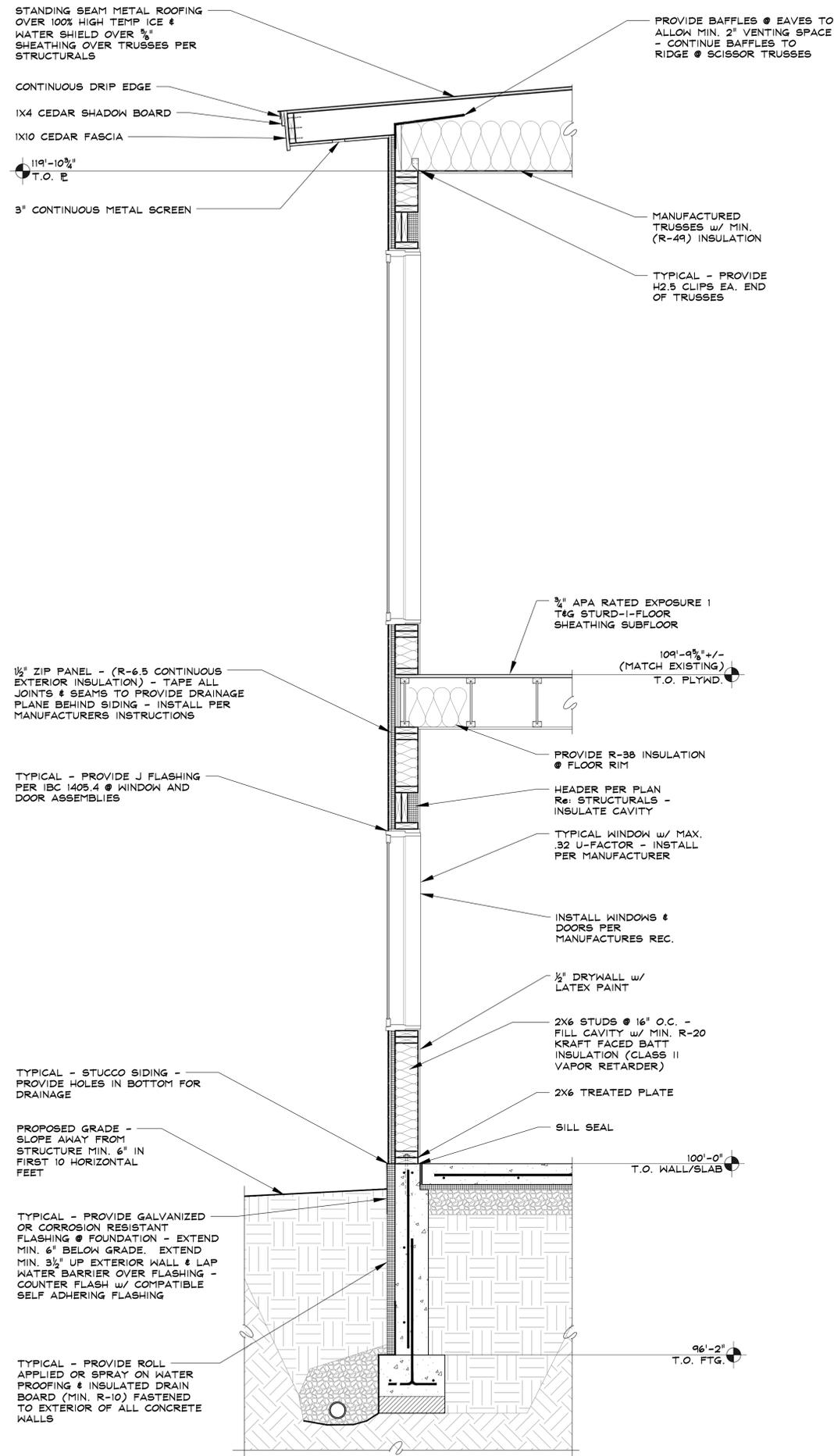
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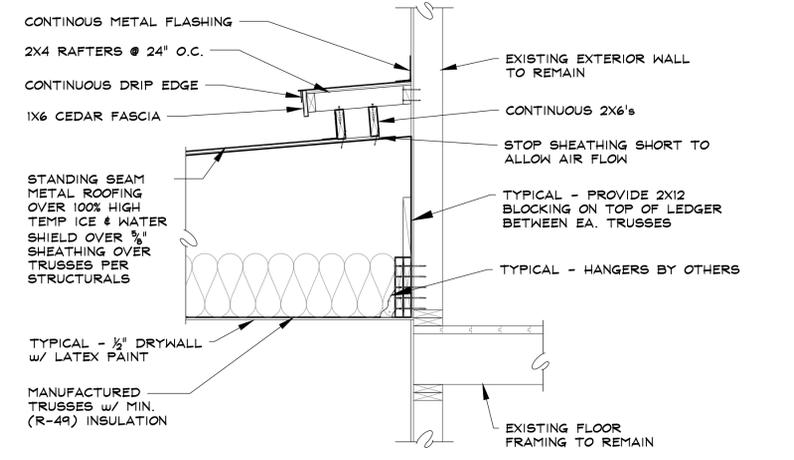


1 WEST ELEVATION
Re: 1/A-5 FOR TYPICAL NOTES

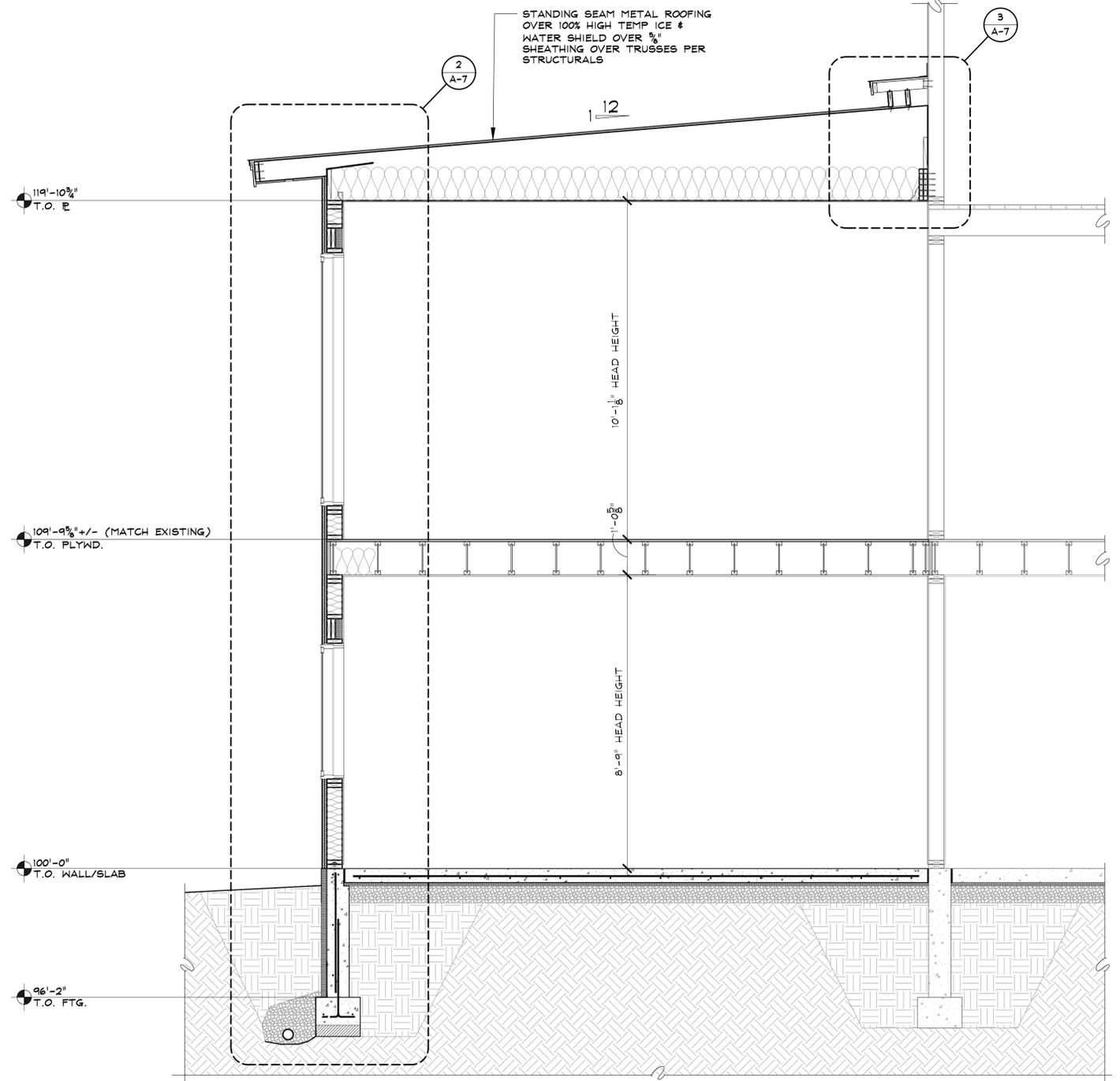
SCALE: 1/4" = 1'-0"



2 TYPICAL WALL SECTION SCALE: 3/4" = 1'-0"



3 TYPICAL SIDE WALL VENT SECTION SCALE: 3/4" = 1'-0"



1 TYPICAL BUILDING SECTION SCALE: 1/2" = 1'-0"

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TIMMERMAN ADDITION
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 AN ADDITION FOR:
 CHRIS TIMMERMAN

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TYPICAL WALL SECTION

A-7

SHEET 9 of 9

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